



PO Box 1111 Statesville, NC 28687

DATE: June 30, 2025
TO: Statesville Design Review Committee
CC: Sherry Ashley, Planning Director; Herman Caulder, Assistant Planning Director
FROM: Marci Sigmon, Planner II
SUBJECT: Regular DRC Meeting

The Design Review Committee will conduct a regular meeting on **July 10th, 2025, beginning at 2:00 pm** in the Council Chambers on the 2nd Floor at Statesville City Hall, 227 S Center Street.

AGENDA

1. Welcome
2. Review and approval of June 12, 2025 DRC Meeting Minutes.
3. Review and approval of May 9, 2024 DRC Meeting Minutes - postponed due to members present at meeting to approve minutes were absent.
4. Review and approval of September 12, 2024 DRC Meeting Minutes – postponed due to members present at meeting to approve minutes were absent.
5. Consider Design Review Application DRC 25-04 from James Lussier, represented by Jeff Nichols with Design Associates Architecture, to renovate the exterior of the building located at 106 Court Street; Tax Map 4734-95-9534.
6. Other Business
7. Adjournment



PO Box 1111 Statesville, NC 28687

NOTE: Please call Marci Sigmon at 704-878-3578 or email Marci at msigmon@statesvillenc.net if you have any questions related to this meeting.

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**DESIGN REVIEW COMMITTEE MEETING
CITY HALL COUNCIL CHAMBERS
JUNE 12, 2025 @ 2:00 pm**

Members Present: Chuck Goode, Rebecca Jones, John Furlow

Absent: Bryan George, John Marshall

Staff Present: Marci Sigmon, Joseph Campbell

Chairman Goode called the meeting to order and stated item 5 on the agenda will be heard first.

Consider Design Review Application DRC 25-03 from ACE Dumpsters represented by Richard Rubino, owner of ACE Dumpsters, to demolish the remaining structure walls, refresh existing gravel or add new gravel as needed, place a small storage building on site, and plant low, affordable bushes on the property located at 226 West Sharpe Street; Tax Map 4734-94-6428.

Sigmon gave the following staff report:

The property located at 226 West Sharpe Street currently has remaining structure walls from a former business located on the property. It appears the former structure was in severe disrepair and the roof collapsed. The remaining structure walls are concrete. Historically, the site was utilized as a blacksmith business and over the last twenty years has been used as outdoor storage for Statesville Roofing Company.

During 2025 a new owner, Ace Dumpsters, purchased the property and is requesting to demolish the remaining structure walls and enhance the property's appearance by removing many trees, underbrush and weeds. The new property owner plans to store dumpsters on site for customers to rent. Ace Dumpsters plan to refresh existing gravel on the parcel, add necessary gravel to store the dumpsters on site, and gravel the driveway for entry and exit from the property. Additionally, Ace Dumpsters has submitted a site plan (see attached documents) illustrating where the business will plant low, affordable bushes to screen the dumpster storage from street view. A small storage building currently exists on the property and will be relocated to the southwest corner of the property ten feet from the sidewalk along West Sharpe Street and ten feet from the wall located along the west property line.

The Design Review Committee will make a recommendation to City Council for the demolition request. Per Section 5-16.1 in the Unified Development Ordinance, City Council determines all demolition requests within the City of Statesville Downtown Overlay District.

Jones asked for details for the bushes to be planted and Corey Zima, the owner's business associate, stated bushes like arborvitae will be planted and maintained every year. Goode stated the landscaping is vague and would like to see a landscape plan. Jones stated a computer rendering of the landscaping would be acceptable and Zima agreed. Goode asked if any of the existing vegetation can be used or will the existing tree block the driveway and Zima stated the tree is in the way but will see if it is salvageable. Goode stated all landscaping will have to be maintained in perpetuity.

Goode asked if the dumpsters will be stacked and Zima stated no. Goode asked how many dumpsters will be on the site and Zima stated three to five on a rotation basis.

Goode stated his concern is the west wall of the existing building that is not a retaining wall but a veneer against the earthworks of Statesville Roofing and the exposed earth could fail. There was discussion regarding the west wall of the building and removal of trees. Furlow asked if the tree on the right side of the property could be saved or plant arborvitae to provide screening for the house next door and Zima agreed. Zima stated the intent is not to remove everything on the site just remove what is needed. Sigmon stated tree removal was submitted by Mr. Rubino, which is staff approved by her and the City Arborist and they visited the site and a lot of the trees will remain. Furlow asked if the storage building will have electricity and Zima stated not now but could be in the future.

Furlow made a motion to approve Design Review Application DRC 25-03 from ACE Dumpsters to demolish the remaining structure walls, refresh existing gravel or add new gravel as needed, and place a small storage building on site with the following conditions to be performed within 90 days of the demolition approval: identify all the property corners, submit an updated landscape plan naming the new species to be planted on the property and also identify the species of trees to be removed from the property, and obtain a driveway permit from the city for entrance onto the property, seconded by Jones. The motion carried unanimously.

Goode stated there is not a quorum present that attended the May 8, 2025, May 9, 2024, or the September 12, 2024 meetings, therefore approval of these minutes will be postponed to the next meeting.

Other Business

Sigmon stated the next regular DRC meeting will be July 10, 2025.

Jones made a motion to adjourn the meeting, seconded by Furlow. The motion carried unanimously.

**DESIGN REVIEW CALLED COMMITTEE MEETING
CITY HALL COUNCIL CHAMBERS
May 9, 2024 @ 1:00 pm**

Members Present: Chuck Goode, Bryan George, Scott Zanotti

Absent: John Marshall, Rebecca Jones

Staff Present: Marci Sigmon, Lori Deal, Brittany Marlow

Chairman Goode called the meeting to order and asked for a motion to approve the DRC meeting minutes from April 11, 2024 and the called meeting April 26, 2024.

George made a motion to approve the April 11, 2024 DRC meeting minutes as presented, seconded by Zanotti. The motion carried unanimously.

Zanotti made a motion to approve the April 26, 2024 Called DRC meeting minutes, seconded by George. The motion carried unanimously.

Consideration to continue hearing Design Review Application, DRC 24-05 from Summit Realty & Development, LLC to parge the exterior east wall and install a flashing material on the east elevation wall on the building located at 111 West Broad Street, Tax Map 4734-95-8636.

Sigmon gave the following staff report:

The property located at 111 West Broad Street is a commercial two-story building with a modern replacement façade featuring cinder-block screen in the upper elevation. The 1995 historic survey states the building was built ca. 1900 and the 1980 historic survey reveals the building's construction date as ca. 1896.

The owner Summit Realty and Development, LLC, is requesting to parge the exterior east wall of the building with a concrete sealing mixture to repair and protect the wall which has been exposed to weather elements since a tragic fire occurred adjacent to the building on April 25, 2023. The owner states the wall has received repair with filling mortar holes and other exterior discrepancies since the adjacent fire damaged building was demolished during December 2023.

The owner is also requesting to place a metal flashing material on the cornice of the building. The owner states the flashing will be a simple designed metal colored medium bronze.

Update As of May 3, 2024

The owner's contractor, G.L. Wilson Building Company, has stated that structural engineers, Taylor and Viola based in Hickory, North Carolina, visited 111 West Broad Street per the request of G.L. Wilson to perform a comprehensive review of the walls around the perimeter of the demolition site where 104 South Center, 101 South Center and 109 West Broad Street once stood. Mr. Palmes states that Taylor and Viola Structural Engineers performed an evaluation of 111 West Broad Street where Taylor and Viola recommended maintenance and repairs in a report provided to G.L. Wilson Building Company. The report written by Taylor and Viola was received by G.L. Wilson on January 19, 2024.

Mr. Palmes stated the recommendations from Taylor and Viola Structural Engineers for 111 West Broad Street included the following:

1-Floor, Ceiling and Roof framing pockets: These pockets should be grouted fully with non-shrink grout for both weather protection and structural concerns at all locations.

2-The exposed wall face is poor quality brick and mortar. We recommend installing a metal lath and then a cementitious parging coat to tie the materials together. The new cementitious parging coats on this wall will structurally integrate all of the brick as needed and provide a protective coat over the brick that is in poor condition.

3-The brick that is exposed steps in and out and creates horizontal benches. We recommend creating a sloping water table from mortar to allow water to run off versus settling on the benches.

4-The entire wall parapet needs new coping and waterproofing. The existing was damaged by the fire and does not appear salvageable. If the wall leaks from the top, the freeze-thaw cycles will very quickly cause the wall to deteriorate from the inside and it will become structurally unsound.

5-The rear return on the building is in poor condition and there are cracks extending vertically. We recommend marking a line approximately 18" from the outside corner and saw cutting the remaining brick return off. This will eliminate the cracks and issues that are developing at this area. After the cut is made, we recommend providing lath and cementitious parging at the end of the wall for water protection.

6-The front return of the wall is in good condition; we recommend leaving the exposed lintel steel in place and protecting the exposed mortar and cavity as required with lath and cementitious parging.

7-The foundation portion of this wall that is adjacent to the crawl space/basement area is in very good condition and no work needs to be performed on this area IF the wall remains open with no backfill. (Please note backfilling options are discussed later in the report)

Mr. Palmes states that G.L. Wilson's stance on this project has been, and remains, that time is of the essence pertaining to the building located at 111 West Broad Street. Additionally, Mr. Palmes wrote once the contract was executed on April 8, 2024, G.L. Wilson immediately released their subcontractor, J&K Prevette Masonry, to start the maintenance and repair work. Mr. Palmes states the submitted photos related to the ceiling, roof, and floor joists pockets in the wall needed repair and the patchwork was completed between April 12 and April 24, 2024. Mr. Palmes also stated the masonry crew completed this patch work during this time in preparation for a new metal cap. Moreover, the metal lath was partially installed on the eastern elevation wall of 111 West Broad Street between April 23 and April 25, 2024. Furthermore, during the DRC Meeting on April 26, 2024, the committee members requested the work to stop since approvals were not given for any work to begin on the wall by the Design Review Committee.

Mr. Palmes states the project team proposes to finish the metal lath installation in accordance with recommendations from Taylor and Viola for the above listed Item #2. The wall is suggested to be parged with

Parex 210 Armourwall stucco base concentrate. Parex Armourwall is a combination of Portland cement, reinforcing fibers, and proprietary ingredients. With this product sand will be added to the stucco base at the project site. Parex 210 Armourwall is intended for application over concrete, masonry, and metal lath. Mr. Palmes states Parex DPR Standard Acrylic finish is proposed to be applied over the Parex Armourwall. Parex DPR allows for specific finish options and color of any Sherwin Williams selection. The Parex product also provides weather resistance while allowing vapor inside the wall to permeate the layers of Parex Products. Mr. Palmes states this Parex combination will “structurally integrate all of the brick as needed and provide a protective coat over the brick that is in poor condition” and will produce a more consistent color and finish as compared to a traditional masonry lath/stucco.

Additionally, the parapet metal cap is proposed to be installed after the Parex finish so that the metal cap can properly cover the top edge of the wall finish, directing water over the face of the wall.

Please see supporting information submitted by Robert Palmes Jr. sharing the structural engineers report and parging products proposed within this packet.

Goode stated painting the cast stone on the front elevation is not allowed and will need to be discussed as a separate item and David Jones stated it will not be painted it will be cleaned.

Goode recognized anyone to speak on behalf of the application and David Jones, managing member of Summit Realty and Development, stated the wall was initially an interior wall that was exposed due to a fire on April 25, 2023 involving 109 W Broad Street and two other buildings. From the independent engineer’s report, it was determined the wall needed to be pointed up and parged. Two additional engineer studies; one from the insurance company representing 109 W. Broad Street and one from the insurance company representing 111 W. Broad Street. Both additional engineer studies concur with the report G. L. Wilson has presented and defines the scope of work to be completed concerning the parging. This will be an exterior wall until a new structure is built on the 109, 104, and 100 W. Broad St. site, which is undetermined. Goode stated he is looking at the 5/25/2023 structural report from YA Engineering Services and it states for 111 W. Broad St. in item 4. “The shared wall has not been compromised as a result of the fire.” Jones responded the inspection was done prior to the demolition so further down it states, “there will need to be further evaluation once the demolition is complete.” Goode stated it was done prior to demolition but does seem to contradict the 1/19/2024 report and Jones stated you can only evaluate what can be seen and they could not get to the all the fire damaged structure to see the wall before demolition.

Robert Palmes Jr., G. L. Wilson Building Co., stated Parex 210 Armourwall is a Portland cement base stucco product which has synthetic fibers that help with tensile strength of the material and is applied over the lathe. After receipt of this letter and consulting with the masonry subcontractor, a conglomerate of G. L. Wilson - J & K Privette Masonry, Taylor & Viola, and James Tate, engineer of record, discussed using this product in lieu of standard masonry stucco. The Parex submittal does not state the necessity of lathe over masonry, but the engineer of record wants lathe. An acrylic finish will be used with key benefits of finish including strong bonding, thicker layered topcoat, vapor permeable, flexible, can withstand thermal shock, resist UV and weathering, with unlimited colors, and a variety of textures. There was a mistake on the acrylic finish submittal of swirl coarse 3.0 mm finish and the masonry subcontractor has recommended swirl fine is a better finish. Palmes presented a sample of the Sherwin Williams gossamer veil and the swirl fine to the board for review and stated the finish coat is the DPR Standard textured finish. Palmes presented some pictures of the timeline of the project included in the packet with the owner’s application and the status of the east wall after demolition.

Jones stated the back quarter of the wall is stucco and will be painted to match the color of the front wall so the wall will have a continuance of the same color and look. This will be visible until a new building is constructed. The wall needs to be structurally in place for a long term and protected from weather. Goode asked if the parging was removed and Jones stated no. Goode asked if it will have the metal lathe and anchors and Jones stated no and it will be painted the same color to match. Goode stated he has concerns if the existing parging will crack, spall, or fall off verses the part with metal lathe and anchors. Jones stated there will be 2 feet of brick as a separation so they will not be touching.

Mark Tart, G. L. Wilson, semi-retired engineer, stated the structural engineers report provides information about how the masonry has diminished its capacity over time but there also is an additional load of pressure and suction on the wall so it had to be considered in the analysis. This wall must be fixed and 111 W. Broad Street does not have a Certificate of Occupancy, but a CO can be issued with the condition the structural engineer releases that the wall is acceptable for occupancy.

George asked which building was built first and Jones stated to his knowledge 111 W. Broad Street has not ever burned or had major damage, but 109 W. Broad Street has burned three times with the last reconstruction approximately during the 1950's. Palmes stated the joist that collapsed on the 109 side had a steel strap that was laid into the masonry wall at a right angle and mechanically attached to the wooden ceiling and floor joist suggesting the straps were there from the onset of the wall being laid. On the 111 side you need to go above the ceiling to tell if it is the same construction and he did not notice the straps, but he was not looking for them so this suggests that 109 W. Broad Street was built first.

George asked since 109 W. Broad Street is not there is 111 W. Broad Street structurally not able to be independent without the parging. Tart stated he asked the structural engineer what went into his analysis for consideration of reinforcing the wall. You have an out of plane bending load and an out of plane shear load because of the wind load not seen before. The most focus should be placed on the deterioration of the masonry from the fire and freeze and thaw and Goode stated he agrees with the statement but disagrees that parging is the best way and there are other ways of sealing the brick. There are potassium silicate paints on the market or point up the brick with lime mortar instead of Type S mortar and instead of parging. Tart stated a reinforced structural plaster was chosen as the method to provide the necessary reinforcing and it does more than protecting a shale layer. Goode read from the State Historic Preservation Office (SHPO), who he contacted in regards to this application, stated "Note the deep pockets of material loss where the entire brick units are hollowed out. Granted, neither parge treatment employed metal lathe so it is possible the Statesville installation will grip the wall for longer. Nevertheless, I would expect deterioration to the wall itself to advance at a faster rate than if the wall was left exposed." Tart asked if there is a signed and sealed copy for the board. Goode stated no because it is not within a local historic district. Sigmon stated SHPO advises boards and citizens across the state of North Carolina. Goode stated it will be a problem again and hopefully for the current owner and not the well intentioned future owner. Tart stated any of the materials will require maintenance and this has been presented as an advanced material and we have learned a lot through technology and research. Goode stated potassium silicate paints are used to preserve light houses along coastal waters and some have 200 year old parging and not just an exposed brick.

Zanotti stated with the work that has been done it is hard to go backwards at this point. Zanotti continued to state there may have been other solutions but he doesn't know how to get the owners to any other resolutions at this point and George agreed. Goode asked if this is how the board will address future after the fact applications.

George made a motion to approve Design Review Application, DRC 24-05 from Summit Realty & Development, LLC to parge the exterior east wall and install a flashing material on the east elevation wall on the building located at 111 West Broad Street, seconded by Zanotti.

Zanotti stated this is a rare situation and he does not see any way around the application at this point. Marlow stated the end goal is for the wall to not be exposed to the elements for 30 years and to become an interior wall again. George stated this committee tries to balance preservation with new projects, materials, and progress within the commercial downtown and three board members currently have made their livelihoods dealing with design and material choices. Who do we believe more, a structural engineer or an agency that DRC and HPC heavily rely on for professional experience and to help preserve buildings? There are other methods such as silicates used in lighthouses verses Type S mortar, and new technology with fibers, etc., but we must deal with the building now and parging is probably the most common way to protect it. It is frustrating and disappointing that this is an after-the-fact and we may have come to the same conclusion with the lathe and parging.”

Jones stated we did communicate with staff as well as the County and this was a repair and there was no intent to disregard anything only to ensure the safety of the structure. George stated we are supposed to help oversee and give guidance on material and design choices in the downtown district and for whatever reason that did not happen and will the South Center Street building have the same problem? Jones stated the brick had turned to dust and was in horrible condition. Palmes stated they had good intentions and made a mistake with the process and the approvals, but G L Wilson and Summit Realty acted in the interest of public safety and property. Goode stated at the August 2023 and November 2023 meetings that any changes or painting regarding the fire damaged buildings on the square at South Center and West Broad Streets had to be submitted to the Design Review Committee.

The vote on the motion was as follows:

Aye: George, Zanotti
Nay: Goode
Motion Carried: 2 to 1

Other Business

Chairman Goode thanked Brittany Marlow for her service with DSDC and wished her well.

The meeting was adjourned.

**DESIGN REVIEW COMMITTEE MEETING
CITY HALL COUNCIL CHAMBERS
September 12, 2024 @ 3:00 pm**

Members Present: Chuck Goode, John Marshall, John Furlow

Absent: Bryan George, Rebecca Jones

Staff Present: Marci Sigmon, Joseph Campbell

Chairman Goode called the meeting to order and welcomed everyone.

Consider Design Review Application DRC 24-11 from the Apex Outdoor Sports, Inc., represented by Tammy Wyatt, to install a new awning on the building located at 236 West Broad Street, Tax Map 4734-95-0681.

Sigmon gave the following staff report:

The property located at 236 West Broad Street is a one-story commercial building constructed in 1950 according to the Iredell County Tax Records. The front façade consists of brick, concrete and storefront windows. Currently Apex Outdoor Sports, Inc. occupies the building.

The business owner, Apex Outdoor Sports, Inc., represented by Tammy Wyatt, is requesting to install a new standing seam metal awning above the storefront windows on the front façade. The aluminum awning will measure fifteen feet three and one-half inches in length, four feet in depth, and two feet six inches in height. The awning will be welded aluminum with trim panels. The awning color will be Sahara Tan. A sample photo of the proposed awning is included in the application documents.

Before rendering a decision, the committee should reference design guidelines:

Chapter 4: Site Features; 4. A. Signs & Awnings, Pages 22-24

Goode asked the board if there were any questions for staff.

Goode asked if there was anyone present who wanted to speak on behalf of the application and opened the public comment.

Tammy Wyatt came to the podium and spoke about Apex Outdoors's desire to install a new awning at their business and said that one of the reasons was for events such as the art crawl where they have vendors set up in front of their building – typically selling candles and how the heat would melt the products. They additionally would like to decrease the heat from the sun inside their building as well. The reason they decided to go with a metal awning instead of fabric was the increase longevity of the awning.

Marshall asked Wyatt has she looked into how long the awning would take to fade.

Wyatt acknowledged that it would after some time and is hopeful this material would take longer to fade than fabric.

Marshall commented on how many of the awnings downtown has faded, and that this would be one of the only metal awnings downtown.

Wyatt said there are some buildings with awnings with attachments that were not constructed of fabric.

Marshall asked if Wyatt knew how the awning would match up to the adjacent buildings' awning.

Wyatt said she intends to match it to the neighboring awning and is using the same contractor who put that awning up.

Marshall asked if they intended to put their name on the awning or any other words on it.

Wyatt said no, and that they would like to put up lights during the holidays.

Marshall said there wouldn't be any issues with that.

Sigmon said lights were fine during holidays given that they are not permanently installed.

Goode made a comment about how historically it has been fabric awnings in downtown.

Marshall asked if the awning would extend out as far as the neighboring awning.

Wyatt confirmed.

Goode stated he had concerns about the metal awning, specifically being on historic buildings but this building being from the 1950's (mid-century modern) and not being completely adjacent to a historic building.

Furlow asked if there were any metal awnings in downtown.

Wyatt pointed out a barber shop below Apex Outdoors that has a metal type frame similar to the proposed awning, and some others that are metal and attached to buildings and inspired her for something more permanent than typical fabric awnings.

Marshall asked if there was anything in the guidelines regarding metal awnings.

Goode stated the guidelines refer to "appropriate materials."

Sigmon showed an example of the aforementioned properties on the screen.

Marshall said he shared Goode's concern about opening the flood gates for metal awnings and asked if the guidelines could be changed to say any structure that is not a historical building could have a more modern awning and the historic buildings must remain true to the historical period look.

Goode referenced the guidelines: "Do not use plastic, wooden shingle, or back-lit awnings. Use canvas to cover an existing metal if its retention is necessary." Which, to him, is saying metal awnings are not appropriate.

Marshall asked if Goode was open to changing the rules to not include buildings that are not deemed historic.

Goode said yes, and that the changed guidelines would have to go to City Council.

Sigmon said guidelines could be changed and is not required to go through City Council, and that the board is allowed to change their policy.

Marshall wants to be certain that the language in the policy change is clear – applying only to historic buildings.

Goode stated that side of West Broad Street, the most historic building would be the post office, and that a majority of those buildings over there are much newer than the rest of downtown and would not want to limit the restrictions to “blocks” and would instead prefer to use an age range.

Goode asked would it be appropriate to allow metal awnings on the “newer” buildings downtown.

Marshall said he did believe it was appropriate given the aesthetic of these buildings on this side with newer – unmatching facades than the rest of downtown.

Furlow stated he liked the aesthetic of canvas for downtown but acknowledged the downfalls of using canvas: fading, tearing, easily damaged.

Wyatt said with the price range of awnings, they wanted to get something that would last.

Goode stated the proposed awning has a 40-year guarantee on the polyester paint lifetime, with cooling metal technology.

Goode asked Sigmon how the guidelines could be amended, should it be included in a motion.

Sigmon said to put it in the motion and at a further date it could be changed in the guidelines.

Marshall made a motion to approve Design Review Application DRC 24-11 from the Apex Outdoor Sports, Inc., represented by Tammy Wyatt, to install a new awning on the building located at 236 West Broad Street, Tax Map 4734-95-0681.000, after considerable discussion the motion is based on the fact that it is not inconsistent with that area of buildings and because these buildings appear to be from the 1950's vintage or later, standing seam awnings can be approve with hopes that the board can alter their guidelines to require canvas on historic buildings to achieve buildings that complement each other building rather than everything look the same. Seconded by Furlow, the vote passed unanimously.

Other Business

Apryl McCoy introduced herself and was in attendance of the Design Review Committee as a citizen and wanted to learn more about the processes of her new City.

Furlow asked about the bricks at the Merrill Lynch Building.

Sigmon confirmed they had withdrawn their application.

Goode stated for the record, Item three, consideration to paint the brick façade at Merrill Lynch, had been withdrawn.

Marshall made a motion to adjourn, passed unanimously.

Next meeting is scheduled for October 10th, 2024.

The meeting was adjourned.

DRAFT

Staff Report

To: Design Review Committee Members
From: Marci Sigmon, Planner II
Cc: Sherry Ashley, Planning Director; Herman Caulder, Assistant Planning Director
Date: June 30, 2025
Re: DRC 25-04; 106 Court Street, Tax ID 4734-95-9534

Background

The property located at 106 Court Street was originally built ca. 1925 and is a two-story brick structure with two altered storefronts. The historic survey describes the upper elevations as being rather plain, with four two-over two double-hung sash windows (which are the middle two paired) and a cornice of small corbelled pendants. Currently, the first floor is being used as retail and the second floor is vacant.

Request

The owner, James Lussier of Beauty from Restoration, LLC, represented by Jeff Nichols with Schaeffer Architecture Design Associates, is requesting to renovate the front, side, and rear façade of the building. The owner would like to restore the storefront in keeping with the original character but with modifications to suit the current use and proposed use of the building. The owner plans to continue using the first floor as retail or a restaurant and renovate the second floor for office space or an apartment.

The owner plans to:

- Remove the existing paint from the brick if possible along the storefront. If the paint cannot be removed the owner will repaint the building and will submit a color scheme to the DRC for approval as needed.
- The existing cast iron column covers will be exposed and painted.
- Install a new storefront will be installed in keeping with original character of the building (see historic photos of the building in applicant's information). Storefront will be a combination of painted aluminum storefront and metal-clad wood.
- Install solid kick panels on the storefront made of metal clad or painted fypon.
- Install a new fabric awning at the upper portion of the storefront along Court Street.
- Install new windows on the second floor of all sides of the building. The windows will be wood metal clad to match the design of the renovated storefront. The owner is consulting with a window manufacturer to provide

casement windows that match the frame/trim profiles of the existing single hung windows. Should that not be possible windows will be replaced with new single hung windows.

- Remove the plaster from the west elevation brick. If the brick is viable the west elevation will remain brick. The plaster cannot be removed then the owner will paint the existing plaster another color approved by the DRC.
- The west elevation first floor windows have been bricked over in the past and the owner plans to leave the windows bricked over.
- On the rear façade, the building consists of plaster applied over the brick, a small brick addition on the first floor, and a small CMU addition on the second floor. The owner plans to keep the first floor addition and remove the second floor addition. Where the second floor addition existed previously will be replaced with an extension of the first floor walls and have a balcony with metal railing for the second floor apartment. Additionally, a spiral staircase will be added on this balcony for access to the new rooftop deck.
- The rear elevation first floor openings will be closed in with brick where they are opposite the adjacent building due to proximity to meet building code opening requirements.
- The rear elevation second floor currently has an opening which will remain as a door opening to the new balcony. This door will wood metal-clad.
- The rear elevation will also be painted.
- A new rooftop deck will be added at the Court Street side of the building where occupancy will be limited to five people.
- The deck and walkway from the spiral staircase will be constructed of wood over new roofing.
- Metal railings will be provided along the walkway and deck. On Court Street side the railing will be set inboard of the existing brick parapet so that it will not impact the parapet and could be removed in the future without damaging the original building. This approach also limits the visibility of the railing from the ground.
- New HVAC equipment will be installed on the roof at the same location as the current HVAC units.
- The exterior materials will include fypon trim and the requested awning will be black and white striped fabric material with a painted aluminum frame.

Committee Review

Before rendering a decision, the committee should reference design guidelines:

Pages 6-8: Chapter 2: Changes to Buildings; Section 2. A. Storefronts

Pages 8-10: Chapter 2: Changes to Buildings; Section 2. B. Façade Treatment

Pages 10-13: Chapter 2: Changes to Buildings; Section 2. C. Materials/Details

Pages 13-14: Chapter 2: Changes to Buildings; Section 2. D. Paint

Page 21: Chapter 3: New Construction; Section 3. C. Rear/Rooftop Decks and Terraces

Pages 22-24: Chapter 4: Site Features; Section 4. A. Signs & Awnings



Downtown Design Review Application

6/20/25

Date

106 Court St

Name of Project

[Signature]
Received by:

Applicant's Information

Name: Design Associates Architecture Jeff Nichols

Mailing Address: 345 E. Broad St, Statesville

Email: jeff@designassociatesnc.com

Telephone and Fax: 704-873-4421

Owner's Information

(If Different from Applicant)

Name: James Lussier - Beauty from Ashes Restoration, LLC

Mailing Address: 110 Lavender Bloom Loop

Email: jlussier@yahoo.com

Telephone and Fax: 704-778-2593

Project Information

Application Date: 6/20/25

Project Location: 106 Court St Court St & Center St

Parcel Number: (Indicate street frontage, nearest intersection, and address, if assigned.) 4 034959533 000

Zoning District: CB

Overlay Area: Downtown Overlay
(If applicable)

Project Type: New Sign New Construction Addition/Alteration **Addition/Alteration in a Historic District**
(Circle all that apply)

Building Type: **Workplace** **Storefront** **Live/Work** **Attached House** Detached House
(Circle all that apply) Accessory Building Civic

- Design Review Process:**
- Step 1: Initial Meeting;
 - Step 2: Application;
 - Step 3: Site Visit;
 - Step 4: Preliminary Review by Planning Dept;
 - Step 5: Design Review Committee Meeting; and
 - Step 6: City Council Review/Appeal.



Application Submittal Requirements

The following checklist is to aid the applicant in providing the necessary material for submittal to the Design Review Board. As each requirement is submitted, the project manager will initial below that the necessary materials from the applicant have been received. The applicant will sign and date that the application has been completed in its entirety. Please note: Depending on certain request you may have to obtain an encroachment agreement for the City Engineering Department.

DRC Case Number: DRC 25-04

PLANS RECEIVED: [Signature]

Project Manager Initials	Application Submittal Requirements
_____	<input checked="" type="checkbox"/> Design Review Application Form
_____	<input checked="" type="checkbox"/> 1 sets of plans and 1 digital copy
_____	<input checked="" type="checkbox"/> Description of Work
_____	<input type="checkbox"/> Building Design Requirements, if applicable as determined at pre-submittal meeting (Must include: facade overlays and associated calculations)
_____	<input type="checkbox"/> Site plan, if applicable
_____	<input checked="" type="checkbox"/> Building Elevations, if applicable
_____	<input type="checkbox"/> Lighting Plan, if applicable
_____	<input checked="" type="checkbox"/> Material/Color Samples
_____	<input checked="" type="checkbox"/> Color Photographs of the existing site and building(s) all sides, if applicable
_____	<input checked="" type="checkbox"/> Compliance with Section 20.15 and the Design Guidelines
_____	<input checked="" type="checkbox"/> Approval from Owner of Property (Letter or Signature)

Project Description: Renovation of existing front, side and rear facades in support of remodel of 2nd floor for apartment/office use

As the applicant, I hereby confirm that all the required materials for application to the Design Review Board are authentic and have been submitted to the City of Statesville Planning Department.

Jeff Nichols
 Applicant's Signature
James K Lussier
 Owner's Signature

6/20/25
 Date
6/20/25
 Date



106 Court Street Design Narrative

June 20, 2025

1. Project Description

- a. **General** – Existing building is a non-contributing structure. Many of the original details have been lost over the years, though original cast iron column covers remain but have been covered. Intent is to restore the storefront in keeping with the original character but with modifications to suit the current use of the building.
 - i. 1st floor will remain as retail or restaurant occupancy.
 - ii. 2nd floor will be an apartment/office rental.
 - iii. Scope of work includes renovation of existing street-facing façade, side-alley façade, rear façade, interior remodel of 2nd floor, and addition of a rooftop deck.
- b. **Street-facing facade**
 - i. Owner intends to remove existing paint from the brick. This will be subject to verification that the paint can be removed without damaging the brick. Should the paint not be able to be removed, owner will repaint the building and will provide a paint scheme to DRC for approval at that time.
 - ii. Existing cast iron column covers will be exposed and painted.
 - iii. New storefront will be installed in keeping with original character. Storefront will be a combination of painted aluminum storefront and metal-clad wood.
 - iv. Solid kick panels will be installed in the storefront. These panels will be metal clad wood OR painted fypon.
 - v. A new fabric awning will be added at the upper portion of the storefront.
 - vi. 2nd floor windows will be replaced with new energy-efficient metal-clad wood windows to match existing appearance/configuration. Owner is working with window manufacturer to provide casement windows that match the frame/trim profiles of the existing single hung windows. Should that not be possible windows will be replaced with new single hung windows.
- c. **Side façade**
 - i. Owner intends to remove existing plaster from the brick. This will be subject to verification that the plaster can be removed without damaging the brick. Should the paint not be able to be removed, owner will repaint the existing plaster and will provide a paint scheme to DRC for approval at that time.
 - ii. 2nd floor windows will be replaced with new energy-efficient metal-clad wood windows to match existing appearance/configuration. Owner is working with



existing single hung windows. Should that not be possible windows will be replaced with new single hung windows.

- iii. 1st floor window openings have been previously bricked-up; owner will leave these window openings solid.

d. Rear facade

- i. Rear façade consists of the original building with plaster applied over the brick, a small brick addition on the 1st floor, and a small CMU addition on the 2nd floor.
 - 1. Owner will keep the 1st floor addition and remove the 2nd floor addition.
 - 2. The walls of the 1st floor addition will be extended up to 2nd floor level with brick and walls will be painted full-height. The roof of the 1st floor addition will be replaced as a balcony with metal railing for the 2nd floor apartment. A spiral staircase will be added on this balcony for access to the new rooftop deck.
- ii. 2nd floor windows at rear elevation will be replaced with new energy-efficient metal-clad wood windows to match existing appearance/configuration. Owner is working with window manufacturer to provide casement windows that match the frame/trim profiles of the existing single hung windows. Should that not be possible windows will be replaced with new single hung windows.
- iii. There is an existing opening into the existing 2nd floor addition that will be retained as a door opening to the new balcony. Door will be metal-clad wood.
- iv. On the 1st floor, openings in the existing addition will be closed in with brick where they are opposite the adjacent building due to proximity to meet building code opening requirements. 1st floor door will be replaced with new painted hollow metal door.
- v. Gutter and downspout will be replaced. Conduit, wiring, etc. will be removed/rerouted/cleaned up to the extent practical.
- vi. Rear elevation will be painted.

e. Rooftop Deck

- i. A new rooftop deck will be added at the Court Street side of the building. Deck occupancy will be limited to 5 people.
- ii. Deck and walkway from spiral stair to deck will be constructed of wood over new roofing.
- iii. Metal railings will be provided at walkway and deck. On Court St side the railing will be set inboard of the existing brick parapet so that it will not impact the parapet and could be removed in the future without damaging the original building. This approach also limits the visibility of the railing from the ground.



- will be installed on the roof.
- ii. Rooftop HVAC equipment will be set back from the Court St and alley sides of the building to screen it from view with the existing parapets.
2. **Exterior Materials** – The intent of the project is to match the character of the original building while utilizing modern materials that reduce maintenance.
- i. **Storefront** – Combination of painted aluminum storefront and metal-clad wood elements. Existing cast iron column covers to remain and be painted white.
 - ii. **Trim** – Trim will be constructed out of Fypon to match the look of wood trim without the maintenance.
 - iii. **Paint colors**
 - a. **Storefront** – Dark bronze frames with white trim
 - b. **Trim** – White
 - c. **Windows** – Dark bronze frames with white trim
 - d. **Railings** – Dark bronze
 - e. **Rear wall** – Off-white
 - f. **Doors** – accent colors (2)
 - iv. **Awning** – Black and white striped fabric awning with painted aluminum frame

End of Narrative



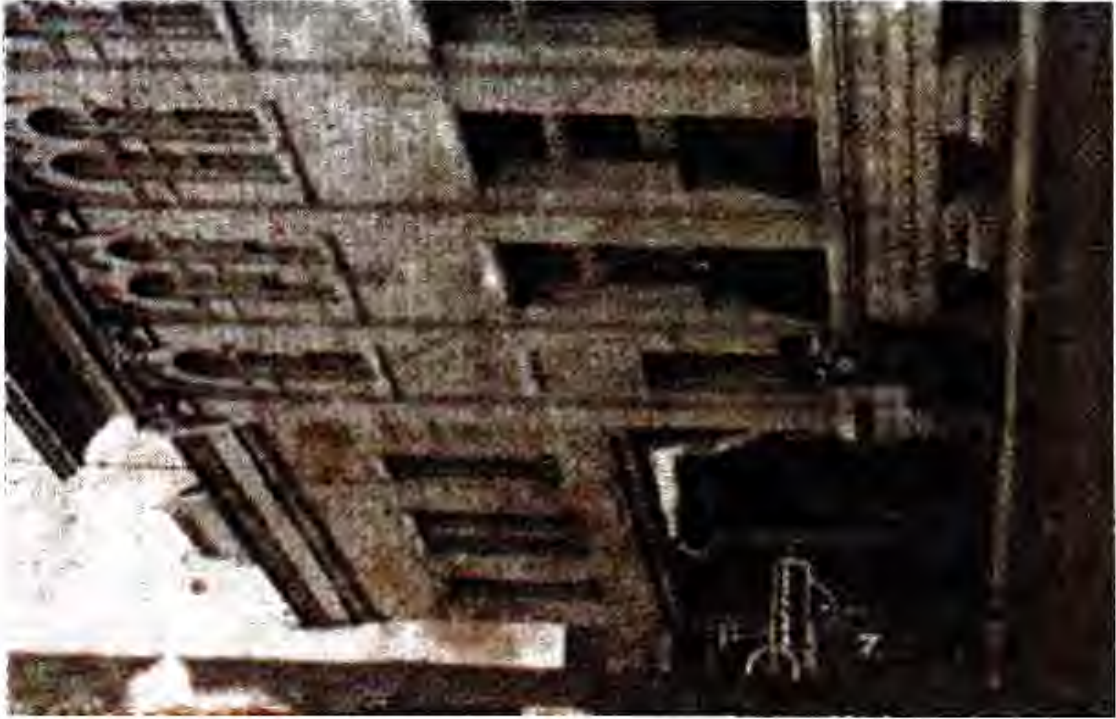
106 Court Street
Statesville, NC

VINTAGE PHOTOGRAPH



SCHAEFFER ARCHITECTURE

6-21-25



106 Court Street
Statesville, NC

VINTAGE PHOTOGRAPHS





106 Court Street
Statesville, NC

SOUTH ELEVATION BEFORE



SCHAEFFER ARCHITECTURE

6-20-25



106 Court Street
Statesville, NC

SOUTH ELEVATION AFTER



SCHAEFFER ARCHITECTURE

6-20-25



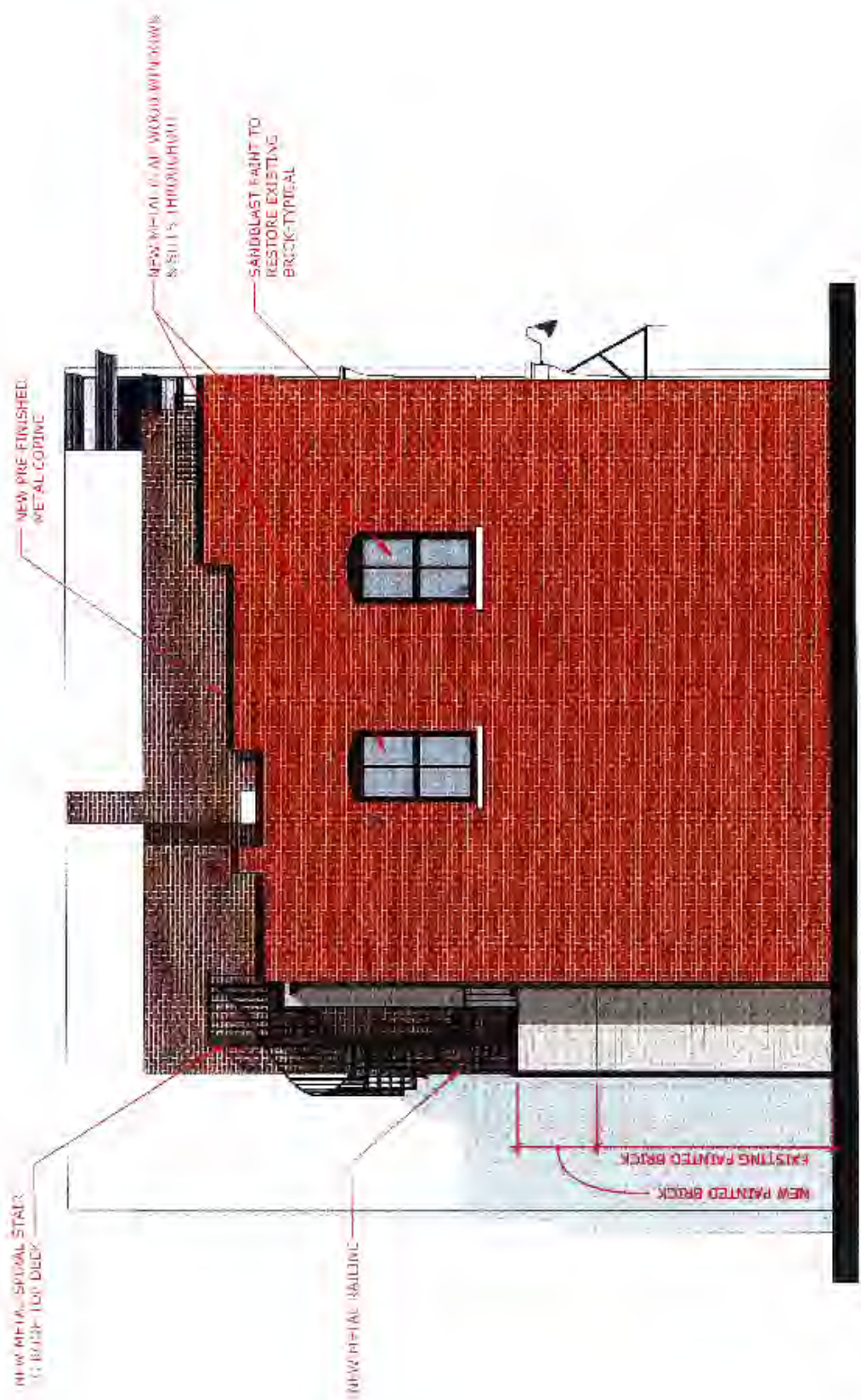
**106 Court Street
Statesville, NC**

WEST ELEVATION BEFORE



SCHAEFFER ARCHITECTURE

6-20-25



WEST ELEVATION AFTER

**106 Court Street
Statesville, NC**





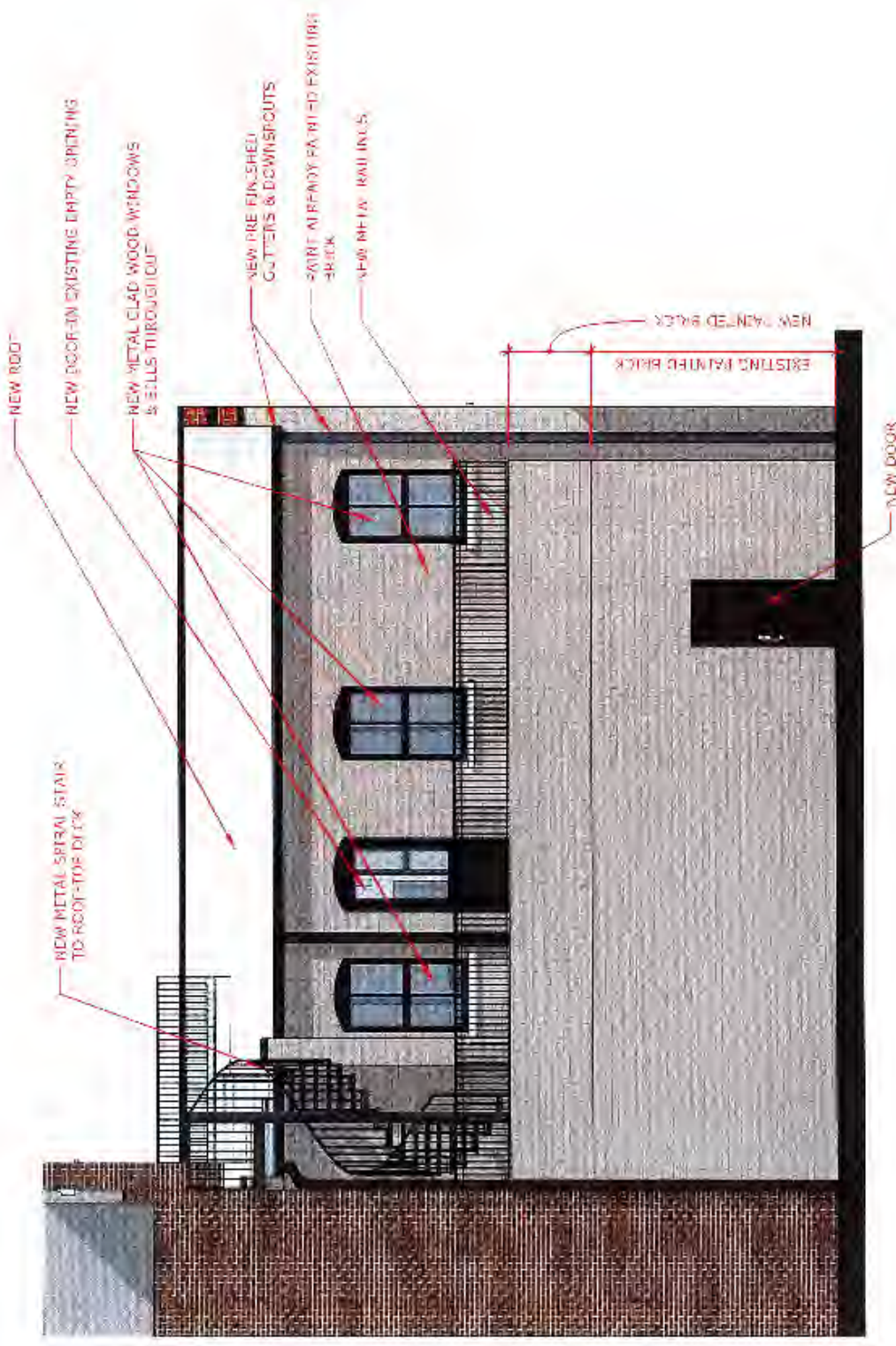
**106 Court Street
Statesville, NC**

NORTH ELEVATION BEFORE



SCHAEFFER ARCHITECTURE

6-20-25



NEW ROOF

NEW METAL SPIRAL STAIR TO ROOF-TOP OF DECK

NEW DOOR-IN EXISTING EMPTY OPENING

NEW METAL CLAD WOOD WINDOWS & SILLUS THROUGHOUT

NEW PRE-FINISHED GUTTERS & DOWNSPOUTS

EXISTING ALREADY PAINTED EXISTING BRICK

NEW METAL RAILINGS

EXISTING PAINTED BRICK

NEW PAINTED BRICK

NEW DOOR



NORTH ELEVATION AFTER

**106 Court Street
Statesville, NC**

SCHAEFFER ARCHITECTURE

8.20.25



106 Court Street
Statesville, NC

RENDERING AFTER



SCHAEFFER ARCHITECTURE

8-20-25



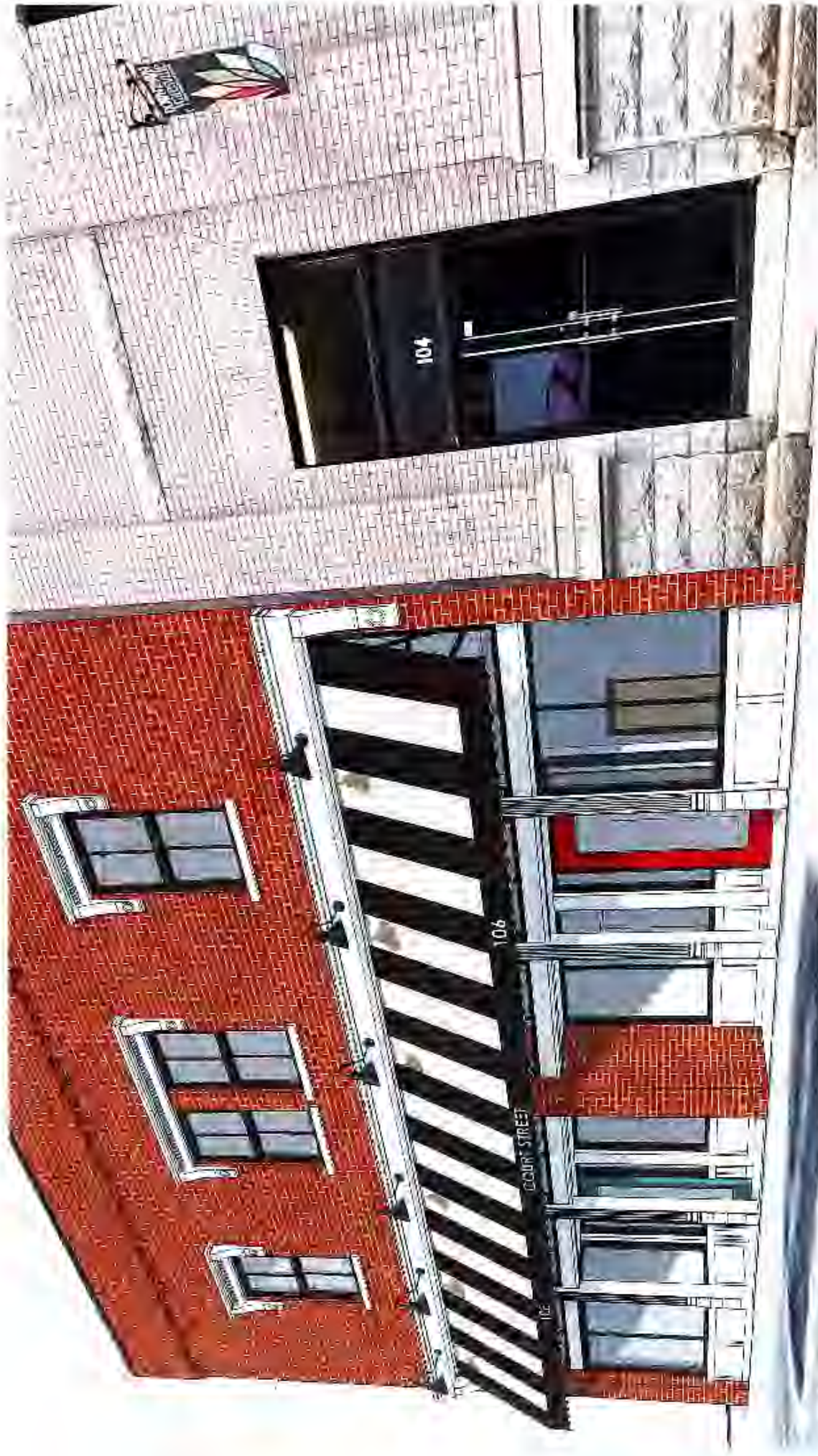
106 Court Street
Statesville, NC

RENDERING AFTER



SCHAEFFER ARCHITECTURE

6.20.25



RENDERING AFTER

106 Court Street
Statesville, NC



SCHEFFER ARCHITECTURE

6.20.20



RENDERING AFTER - NO AWNING

SCHAEFFER ARCHITECTURE

PHOTO

**106 Court Street
Statesville, NC**

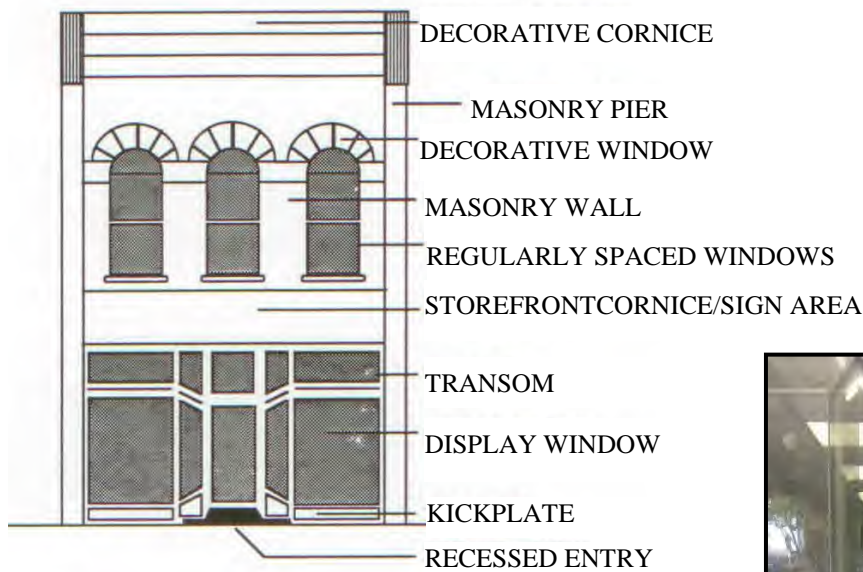
Chapter 2: Changes to Existing Buildings

There are three main sections of a Building: the lower façade: where the display windows and recessed entry-way are located, the upper façade: where the second story windows are located sometimes utilized as residential dwellings, and the roofline: where the cornice is found and much of the decorative detail if found.

2. A.: Storefronts

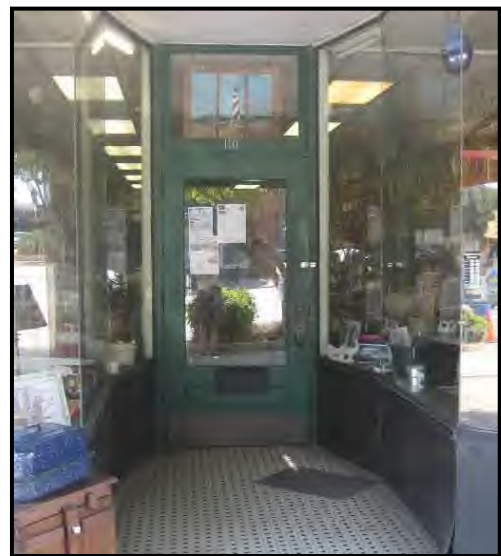
Many of the storefronts consist of the commercial area on the first-floor with large display windows, transoms and/or recessed entry ways. The combination of these elements make for an attractive look yet are functional due to the creation of an area for display of goods as well as allowing light into the store. Many storefronts consist of decorative tile, glass, or marble to complement the display area.

Entries/Doorways: Historically, door design and appearance revealed a business' commercial importance. Storefront entries are typically recessed to provide a larger area for display, give shelter from the elements and emphasize entrances.



TYPICAL STOREFRONT

APPROPRIATE DOOR
Typical Entry/Door
110 North Center Street (1938)



Display Windows: The display window is the most visible part of the building to pedestrians, and therefore should be pleasing and inviting.

Kickplates or Bulkheads: The kick-plate protects display windows by raising the glass to a safer and more easily viewed height. Kickplates also help establish horizontal rhythms.

Typical Display Windows and Typical Kickplates

114 East Broad Street, (1890)



Transom Windows: Transom windows are the smaller windows above the display windows. Used as early energy savers, transoms allow light farther back into the store and in the winter help heat the room. Transoms are also important to a building's proportion because they complement the display windows.



**APPROPRIATE TRANSOM
Typical Transom**

107 1/2 East Broad Street, (1880)



**INAPPROPRIATE:
INFILLED TRANSOM**
Solid Transom Shown Above

Store Front Guidelines:

1. Preserve, maintain or restore storefronts (repair rather than replace) based on the design and features (transoms, display windows, doors, entablatures, pilasters, recessed entries, and signs) found on photos or in physical evidence of the original structure. If original storefront design and features cannot be determined, use a traditional storefront arrangement with features, materials, and proportions typical of similar structures of the same (not earlier or later) architectural style or period. There should be a shared look between the upper and lower façade.
2. Do not enclose, cover, or alter the entrance.

3. Do not use solid doors or residential-type doors with small areas of glass or no glass on front facades, decorative doors, or any doors with lots of molding and designs that give a false historic look. If replacing doors, use glazing proportionate to display window glass (large glass panels with vertical proportions) and kickplate panels proportionate to bulkhead panels. Wood is preferable but metal with a dark or bronze anodized finish and with a wide stile may be used. Raw (silver-colored) metal is never appropriate.
4. Preserve, maintain or restore original size, division, and shape of display windows within total storefront frame. To remove, reduce, cover, or alter original display windows is discouraged.
5. Preserve, maintain or restore kickplates where they exist(ed), matching the original design, size and material. For renovations with no documentary evidence, appropriate kickplate materials are: painted wood, glazed tile, or painted metal in muted colors. Align kickplates with those of other buildings in the block.
6. Preserve, maintain, or restore transoms where they exist(ed), keeping the original configuration / dimensions (whether a band of transoms or transoms individually located above windows and doors) retaining historic transom materials such as prism or leaded glass, if possible. Check for a transom hidden above display window. If found, uncover and restore it. If original transom glass is removed, use clear glass in its place if original cannot be feasibly duplicated. Stain or leaded glass will be considered.
7. For glass areas use clear, not tinted glass.

2. B. Façade Treatment

Facade treatment and windows of Statesville’s downtown commercial buildings create a repeated pattern that helps give block uniformity. On the upper story façade is where architectural detail can be found.



110 and 106 South Center Street,
(1895, 1895)

Appropriate upper floor windows and façade treatment (left)

Inappropriate upper floor windows (below)



Typical upper floor

1st window on left is the original

**2nd and 3rd windows from left
show improper replacements
(Board and Brick)**

Many of Statesville's downtown commercial buildings have side façades that can be seen from public streets, parking lots, sidewalks, and alleyways. As with the primary front façade, these side elevations are important character-defining elements of the downtown history. Usually, these façades exist on corner buildings fronting on two streets, but can also occur mid-block where the adjacent property is vacant or is an alleyway. The side façade generally carries the same design elements and details as the main elevation including fenestrations, brickwork, etc.

The rear elevation provides access for merchants, their workers, and in some cases, customers. It also continues the same general material treatments as front and side façades. More often than not, rear entrances on Statesville's downtown commercial structures serve as a service entry and, as a result, are the location of any necessary mechanical equipment and garbage receptacles.

Façade Guidelines:

1. Preserve, maintain, or restore original windows (including proportions and openings, dimensions, sash and details) and façade features, if replacement is necessary.
2. Do not replace, enclose, cover, or alter windows.
3. Open boarded or bricked windows to reestablish original façade and block symmetry. If reopening windows is not feasible, consider faux windows to reestablish original proportions and horizontal rhythms.
4. If adding storm windows use full view or sash proportionate, blind-stop type of wood or aluminum with anodized or baked-on enamel finishes.
5. Avoid trying to create false or earlier architectural styles.
6. Do not add shutters unless based on physical or photographic evidence that shutters existed. If replacing missing shutters, use shutters to fit the window opening so that if closed, the opening would be covered.
7. If needed or desirable, enhance rear and side entrances through simple signage, awnings, and lighting that is related to those of the front facade. (Reference Chapter 4: Site Features)
8. Exception: new windows and doors may be added when needed if in keeping with size, proportions and location of the originals.
9. If the solid doors are necessary on the sides and rear of the structure, do not use six-panel Colonial style doors.
10. Smaller versions of main awning may be used at rear entrances. (Reference Chapter 4: Site Features)
11. Keep rear and side entrances clean and uncluttered.
12. Screen HVAC units and dumpsters per section 5.03 J. of the Unified Development Code.
13. Coordinate with neighboring structures and businesses where possible for a unified look (parking, paving, landscaping and centrally located trash collection).

14. Locate any necessary exterior staircases, balconies, elevator shafts, and additions on rear facades.
15. Historic painted advertisements represent an important historic element in downtown Statesville. While not required, it is recommended that they be preserved or recreated whenever possible.
16. When reconstructing a historic façade or feature, base the design on historical research and evidence. Maintain the original proportions, dimensions and architectural elements.
17. If there is historic evidence of a public entrance on a rear façade, rehabilitate the façade to provide for an attractive access from rear parking areas.
18. If new construction of a side or rear façade is necessary, make sure that the design is compatible with the existing structures in the district including size & spacing of windows or other fenestrations, proportion, scale, and detailing.

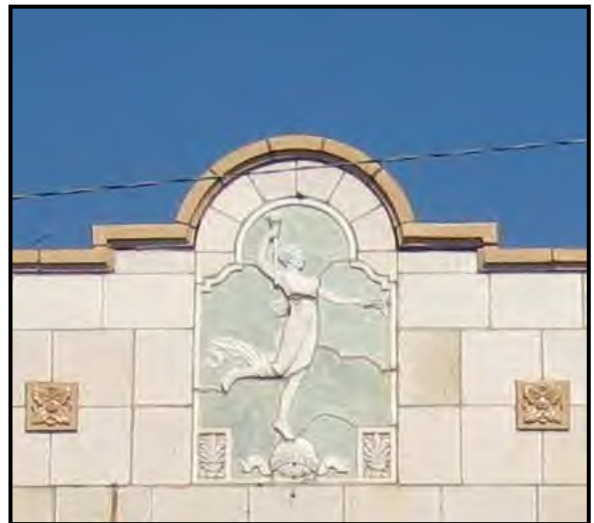
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Materials and details are classified as Architectural ornamentation, windows, doors, masonry, wood and architectural metals use to construct a building.

Architectural Detail/Ornamentation: Includes everything from simple masonry treatments such as corbelled brick and string courses to very detailed ornamentation like cornices, window caps, pilasters, columns, and roof pediments. Variations in material (stone and brick, cast iron, pressed tin, wood, terra cotta, and decorative glass), fenestration, and paint color all contribute to the level of ornamentation on the individual structure.



102 West Broad Street, (1885)



114 North Center Street, (1925)

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5. Avoid trying to create false or earlier architectural styles.
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7. If needed or desirable, enhance rear and side entrances through simple signage, awnings, and lighting that is related to those of the front facade. (Reference Chapter 4: Site Features)
8. Exception: new windows and doors may be added when needed if in keeping with size, proportions and location of the originals.
9. If the solid doors are necessary on the sides and rear of the structure, do not use six-panel Colonial style doors.
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11. Keep rear and side entrances clean and uncluttered.
12. Screen HVAC units and dumpsters per section 5.03 J. of the Unified Development Code.
13. Coordinate with neighboring structures and businesses where possible for a unified look (parking, paving, landscaping and centrally located trash collection).

14. Locate any necessary exterior staircases, balconies, elevator shafts, and additions on rear facades.
15. Historic painted advertisements represent an important historic element in downtown Statesville. While not required, it is recommended that they be preserved or recreated whenever possible.
16. When reconstructing a historic façade or feature, base the design on historical research and evidence. Maintain the original proportions, dimensions and architectural elements.
17. If there is historic evidence of a public entrance on a rear façade, rehabilitate the façade to provide for an attractive access from rear parking areas.
18. If new construction of a side or rear façade is necessary, make sure that the design is compatible with the existing structures in the district including size & spacing of windows or other fenestrations, proportion, scale, and detailing.

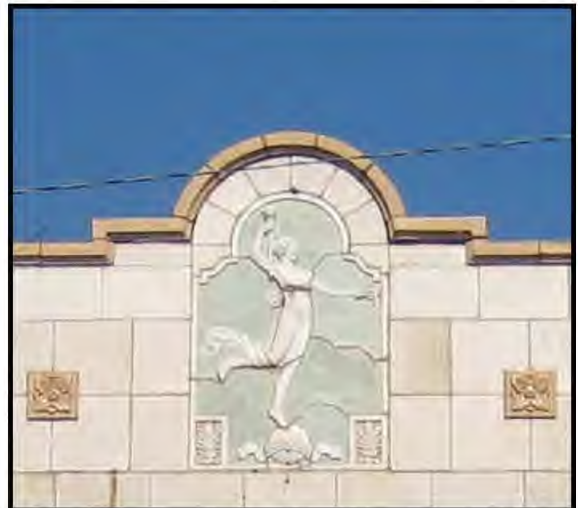
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102 West Broad Street, (1885)



114 North Center Street, (1925)

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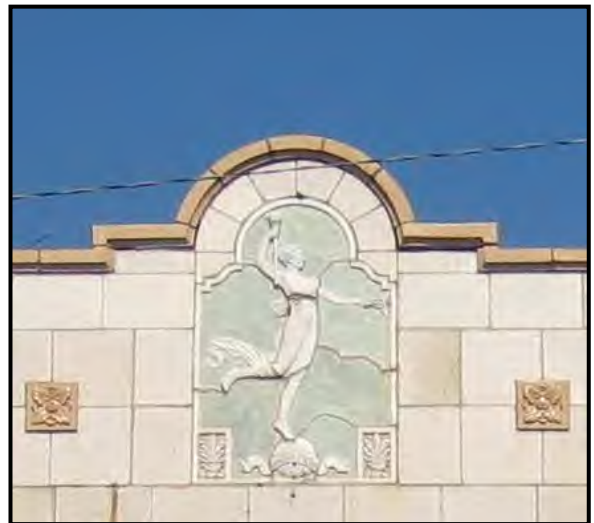
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102 West Broad Street, (1885)



114 North Center Street, (1925)



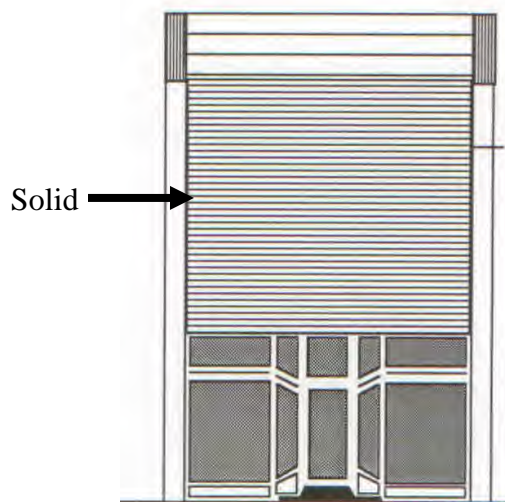
117 South Center Street. (1919)



101 South Center Street, (1890)

Windows and Doors: Windows and doors by their proportion, shape, positioning, location, pattern, and size can contribute significantly to a building's historic character and are particularly indicative of stylistic periods. These openings in a building's exterior also provide opportunities for natural light, ventilation, and visual connections to the interior.

Inappropriate Building Materials
(Solid Material over Windows)



Masonry: Brick, stone, terra-cotta, concrete, stucco, and mortar are all typical masonry materials found on the exterior of buildings. The texture, the scale, the color, the bonding pattern, the joints, and the detail of masonry surfaces can all contribute significantly to the overall character of the building. Masonry features such as chimneys, arches, quoins, lintels, sills, cornices, and pediments further define a building's historic character. The repair of masonry surfaces are relatively long-lasting and require little maintenance.

Wood: Window sashes, doors, bulkheads below display windows, and cornices are the most common wooden design elements found in downtown. Wood is a traditional building material with good insulating qualities.

Architectural Metals: Cast iron, wrought iron, copper, tin, sheet metal, aluminum, steel, and bronze are all traditional architectural metals that contribute to the architectural character of historic buildings through their distinctive forms, finishes, and details.

Materials and Detail Guidelines:

1. Retain and preserve any architectural features and details that are character defining elements of downtown structures, such as cornices, columns, pilasters, piers, window and door surrounds, brick corbelling or pattern work, string courses and quoins; keeping original design, placement, materials and proportions.
2. Consider substitute materials only if the original materials are not feasible.
3. It is not appropriate to remove or cover any original detail or ornamentation. If original features are currently covered, it is encouraged that these features be uncovered, exposed, and repaired.
4. If the architectural detail is missing, design the replacement feature based on historic documentation. If there is no documentation, but evidence that the element was originally on the building, any new design should be compatible with the architectural style or period of the building and district.
5. Do not add decorative architectural features where none existed originally.
6. Retain and preserve openings and details of windows and doors, such as trim, sash, glass, lintels, sills, thresholds, shutters, and hardware.
7. It is appropriate to replace windows or doors with stock items that reasonably fills the original openings.
8. The use of reflective or highly tinted glass is prohibited (Section 6.09, Unified Development Code)
9. For double-hung windows, operable storm window dividers should align with the existing meeting rails.
10. Bare aluminum storm doors and storm windows are not appropriate.
11. Do not replace, cover or alter or enclose existing window or door openings. If original materials have been covered by a false front, uncover them.
12. It is not appropriate to introduce new windows or doors if they would diminish the original design of the building.
13. If a new window or door is required to meet building and safety codes, it should be done in a way that is the least intrusive to the façade and without destroying historic materials and features.

14. If exterior storm windows are desired, they should have little visual impact. Storm windows should be painted to match the building and the color of the window sash. Storm windows should match the existing in size and proportion. Install them so that existing windows and frames are not damaged or obscured.
15. Retain and preserve original masonry walls, foundations roofs and features that are character defining elements of historic buildings.
16. It is not appropriate to apply paint or other coatings to unpainted masonry elements that were historically not coated.
17. It is not appropriate to apply nontraditional masonry coatings such as waterproofing and water repellents to masonry as a substitute for re-pointing or repair. Use such coatings only if masonry repairs have failed to eliminate water-penetration problems.
18. Removal of paint from masonry surfaces is encouraged when the brick is of high quality and was intended to be exposed.
19. Retain and preserve all wooden features that are character-defining elements of a historic building, such as siding, shingles, brackets, cornices, balustrades, columns, pediments, and architraves.
20. If replacement of an architectural metal element or detail is necessary, replace only the deteriorated element to match the original in size, scale, proportion and detail.

2. D. Paint

Masonry, the primary building material in downtown Statesville, was historically not painted. Therefore, most of the brick or stone structures in downtown are unpainted and take on the natural color of the brick, granite or other masonry material of which it is constructed. There are instances, however, where a brick wall has been painted - sometimes in order to provide a protective coating to deteriorated brick. Painting an unpainted masonry surfaces is not allowed, repainting of previously painted masonry and stucco using compatible paint coatings after proper cleaning and preparation is recommended. Some painted brick structures have been restored to their original, natural brick finish.

Generally, the painted surfaces in Statesville's downtown structures tend to be window trim, ornamentation, metal details, or any other architectural feature that provides a visual accent to the masonry façade an opportunity to reinforce a historic building's architectural style and accentuate its significant features through the appropriate selection of paint color. Color palettes have been selected and are located in the Building Materials and Planning Reference Manual. Most paint stores/companies have a library of historical palettes that can be utilized in the design process. The diagram below clearly labels the areas which are considered Base Areas, Major Trim Areas, and Minor Trim Areas. Please reference the Glossary located in Appendix C for a description of the features below.

MINOR TRIM

- Window Sash
- Doors
- Storefront Frame
- Small details on cornices, window hoods and bulkheads

**MAJOR TRIM**

- Cornice
- Window Caps
- Window Frames
- Storefront Cornice
- Storefront Columns
- Bulkheads

BASE COLOR

- Wall Surfaces
- Storefront Piers

Paint Guidelines:

1. It is not appropriate to paint unpainted brick and stone, or to paint copper and bronze unless it is extremely mismatched or so deteriorated that it cannot withstand the weather.
2. Preserve, maintain, or restore original stone or brick foundation materials and design.
3. Protect original building material that was painted by maintaining a sound paint film.
4. Keep color scheme simple using no more than four colors on entire building. Please reference the Building Materials and Planning Reference Manual for appropriate color schemes. If there is not a color scheme suitable to the applicant, it will be up to the applicant to create a color scheme that is keeping within the historic period in which the structure was built. Supporting documentation will need to be provided. Note: Usually soft muted earth tones or pastels for the base or body of the building. Actual colors of, or complimentary to, the dominant neutral building material of the structure or others in the area (such as the dark red-brown brick or buff, taupe, or gray hints of stone) are recommended. Do not use loud, harsh, or garish colors.
5. Accent colors should be used sparingly and only on architectural details. Enhance the architectural character of a historic building through appropriate placement of exterior paint colors.
6. Spray-on vinyl coatings are not an appropriate substitute for paint.

8. It is not appropriate to introduce a prefabricated accessory building.
9. It is not appropriate to introduce a new garage or accessory building if doing so will detract from the overall historic character of the principal building and the site, or require removal of a significant building element or site feature, such as a mature tree.
10. It is not appropriate to introduce features or details to a garage or an accessory building in an attempt to create a false historical appearance.
11. It is not appropriate to construct an addition that is taller than the original building.

3. C. Rear/Roof top decks and terraces:

With multifamily residential on the upper-floor of commercial buildings occur there will be additions made such as construct rear/rooftop decks and terraces. This type of residential amenity is certainly encouraged and is an important element to the success of the downtown community and livability. Decks and terraces are appropriate provided that they do not damage or alter any historic architectural features of the existing building.

Rear/Roof top decks and terraces guidelines:

The materials used should complement the building materials of the primary structure or if the structure is new then use materials that are similar to neighboring buildings. Do not use materials that cause glare/reflection.