

Staff Report

To: Historic Preservation Commission Members
From: Marci Sigmon, Planner II
CC: Sherry Ashley, Planning Director; Herman Caulder, Assistant Planning Director
Date: July 17, 2025
Re: COA25-16 642 W Sharpe Street; Tax Map 4734-73-6647

Background

The property located at 642 West Sharpe Street is currently a vacant parcel. The property is zoned R-5, single-family, and located in the South Race Street Local Historic District.

Request

The owner, Northway Homes LLC, is requesting to construct a new single-family home on the property. The structure will be a one story 740 square foot home with a front porch. The house will be twenty-seven feet wide, twenty-six feet in depth, and twenty-one feet three and three fourths inches in height.

Materials requested:

- Fiber cement siding for the exterior walls.
- Architectural shingles in one of the following colors: Power Gray, Charcoal, Barkwood, Driftwood, or Fox Hollow Gray.
- Brick Foundation one foot in height with one of the following brick colors: Wilmington Brick or Cape Cod Brick. The brick will be full sized brick installed by a brick mason.
- The front porch will have tongue and groove flooring, fiber cement beadboard ceilings painted white, and authentic cedar wood-wrapped columns. The porch floor and columns will be stained a Mahogany color.
- The front and back doors will be two-panel-two-lite design fir wood with clear glass by Simpson Craftsman. The door casing will be fiber cement to match the house siding.
- The windows will be double-hung vinyl two over two by Pella. The window specifics are included in the applicant's submitted documents (See attached).
- Outdoor lighting sconces will be installed in Black or Tannery Bronze (see attached lighting designs).
- A sign will be placed at the front door stating the house's address and the year the house was built. The sign will be made of bronze metal.
- The site plan identifies the property will have a shared driveway with 646 West Sharpe Street, a parking pad at the rear of the house, and a walkway from the driveway to the front porch. The applicant nor the site plan identifies what material any item will be constructed with such as concrete, pea gravel, or brick.

The applicant has included samples of all proposed materials with their application. Please see the attached documents for more details.

Commission Review

The commission must consider the following pages in the Design Guidelines when rendering their decision.

Chapter 4 New Construction & Additions, Pages 49-51: C. New Construction
Appendix: G. New Construction Materials Guide

Also consider:

Chapter 3 Changes to Building Exteriors, Pages 32-33: F. Roof
Chapter 3 Changes to Building Exteriors, Pages 39-40: I. Porches, Entrances, & Balconies
Chapter 3 Changes to Building Exteriors, Pages 36-38: H. Windows & Doors
Chapter 3 Changes to Building Exteriors, Pages 28-29: C. Masonry & Stone: Foundations & Chimneys
Chapter 2 District Settings & Site Features, Pages 13-14: D. Driveways, Walkways, & Parking Areas

Findings of Fact

The Commission must either answer all five (5) Findings of Fact in the affirmative or determine that such finding does not apply to the specific project under consideration:

1. The historic character of the property will be retained and preserved.
2. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of distinctive features, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features has been substantiated by documentary, physical, or pictorial evidence.
3. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest method possible.
4. Archeological resources will be protected and preserved in place. If such resources must be disturbed, the applicant has shown that mitigation measures will be undertaken.
5. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize the property. The new work will be differentiated from the old and will be compatible with the massing, size, scale, and architectural features to protect the integrity of the property and its environment.



City of Statesville
Planning Department
Physical: 227 S. Center Street
Mailing: PO Box 1000
Statesville, NC 28687

Staff Contact:
(64) 878-3578

File #	COA 25 16
Case #	6-27-25
Case #	4734-73-6647
Minister	<u>Robert J. Mc</u>
Staff Use Only	

Please use **BLACK** or **BLUE INK**. Do not use other colors, or pencil. They do not photocopy

Street Address of Property: 642 W Sharpe Street, Statesville, NC 28677

-Island District: South Race Street

-Island Property/Landmark name (if applicable): _____

Applicant's Contact Information

Applicant's Name: Northway Homes LLC

Applicant's Address: 1800 Camden Road, Ste 107-240, Charlotte, NC 28203

Phone: (H) _____ (W) _____ (C) 980-408-9390

E-mail: Permits@northwayhomes.com

Applicant's Signature: _____

Owner's Contact Information

Owner's Name: Northway Homes LLC (Cyrus Mojdehi)

Owner's Address: 1800 Camden Road, Ste 107-240, Charlotte, NC 28203

Phone: (H) _____ (W) _____ (C) 980-408-9390

E-mail: Permits@northwayhomes.com

Owner's Signature: _____

Lot size 50 feet by 187.92 feet
(Width) (Depth)

Zoning: R5 Setbacks: Front + Rear = 25'
Side = 5'

Please Note: By signing this application as the applicant, owner, or both you are granting permission to staff to visit the subject property to understand site conditions



Please describe all work that is being requested, including all dimensions, height, materials, colors, and any other pertinent information (please attach any photos, drawings or brochures that will help explain your request):

Proposed Work for New Construction Home:

Structure: Build a new single-family home named "The Dunkirk," featuring:

1 story 740sqft home with front porch. 26' x 27' dimension. Height of the home is 21' 3 3/4".

Industry-standard design with a focus on historic compatibility.

Exterior Materials:

Siding: Fiber cement siding (Hardie/Shake) in colors: Cobble Stone, Monterey Taupe, Arctic White, or Aged Pewter (options provided).

Roofing: Architectural shingles in Power Gray, Charcoal, Barkwood, Driftwood, or Fox Hollow Gray (options provided).

Brick Water Table: 1' height with options for Wilmington Brick or Cape Cod Brick. Full size actual brick to be installed by brick mason.

Porch Details:

Tongue & Groove flooring stained to match wood columns (Mahogany gel stain).

Steps on the front and rear will be constructed by brick. Full sized brick.

Bead Board ceilings painted white. Fiber cement.

Real cedar wood-wrapped columns stained to match porch flooring.

Doors & Windows:

Front and back doors: Simpson® Craftsman Two-Panel-Two-Lite style (Fir wood, clear glass).

Door casing to match siding.

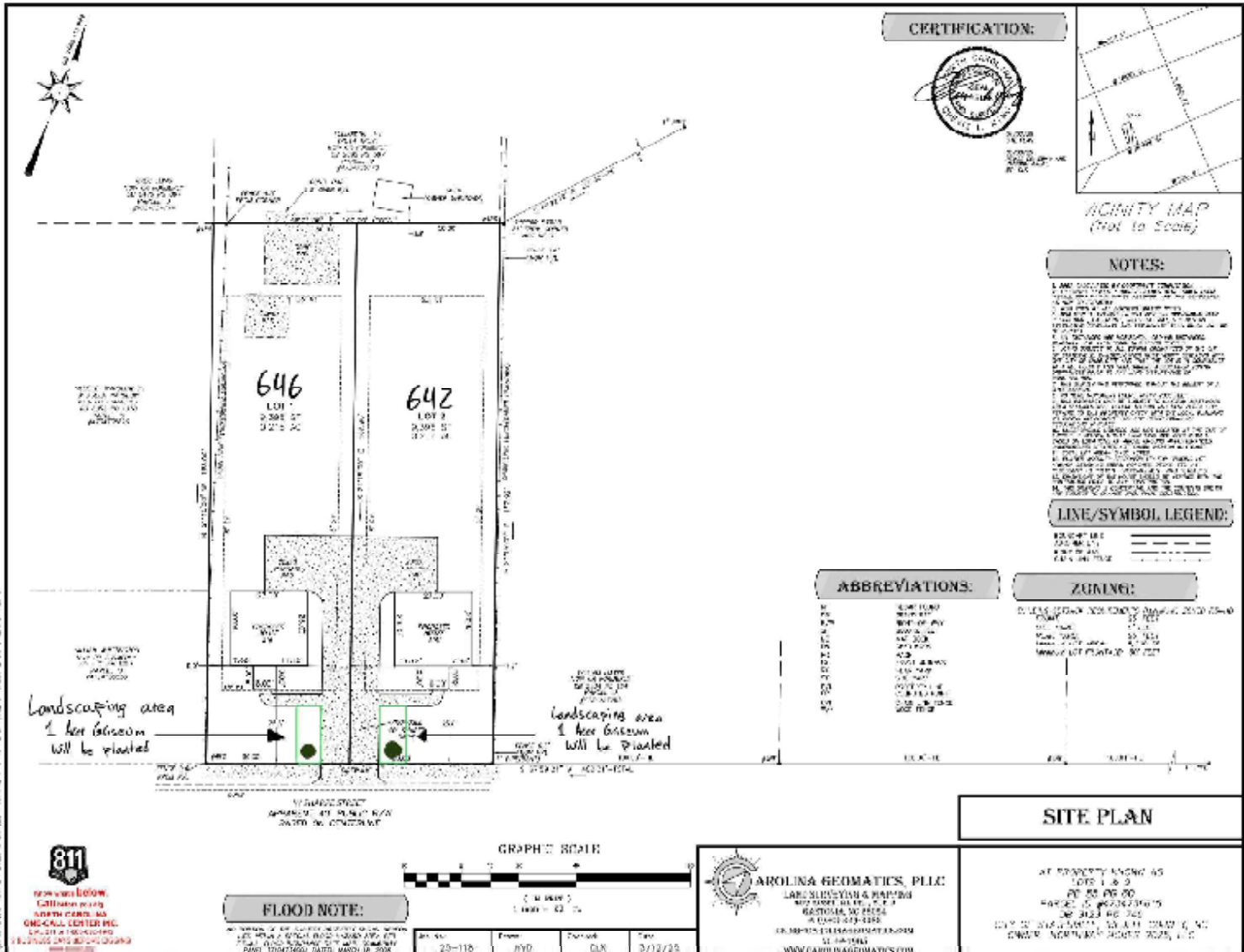
Windows: Vinyl windows by Pella. Window details attached.

Lighting: Outdoor sconces in Black or Tannery Bronze.

Signage: Front door sign with "646 W Sharpe Street" (top) and "Est. 2025" (bottom). Sign to be made of Bronze.

Supporting Documents: Scaled drawings, material samples, and photographs of existing conditions/proposed designs attached.

There may be applications filed that are considered urgent to be reviewed due to a safety hazard, requirement of code, or another valid reason. Such cases shall be reviewed by the staff liaison.







12:30

PM

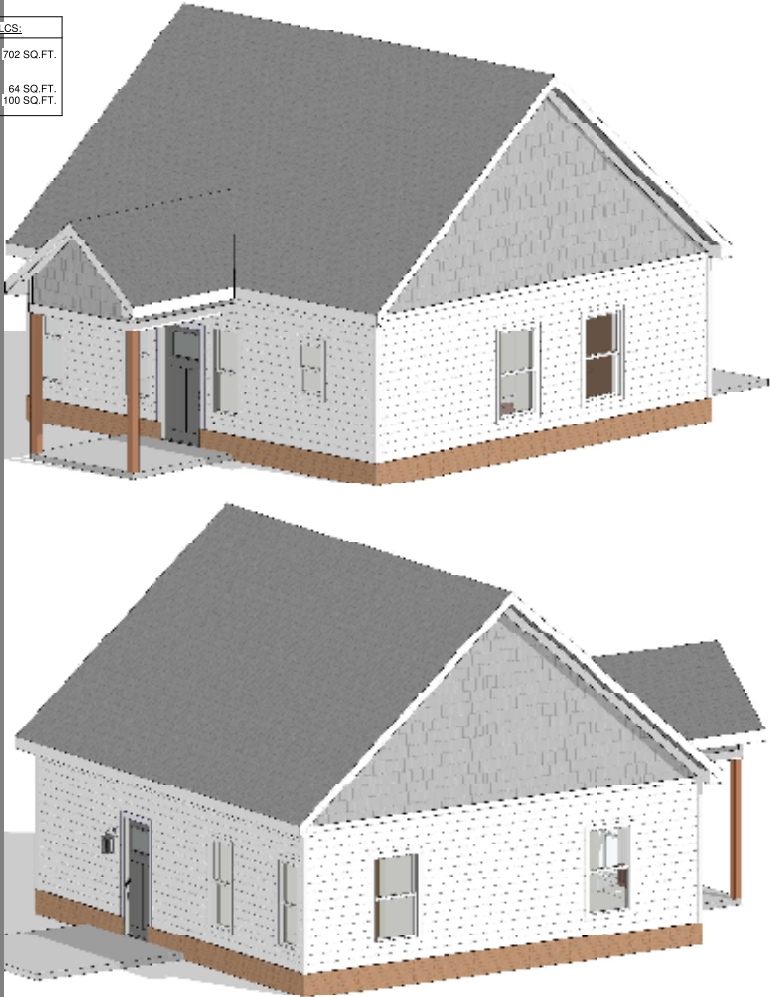
May 30, 2025

Fri

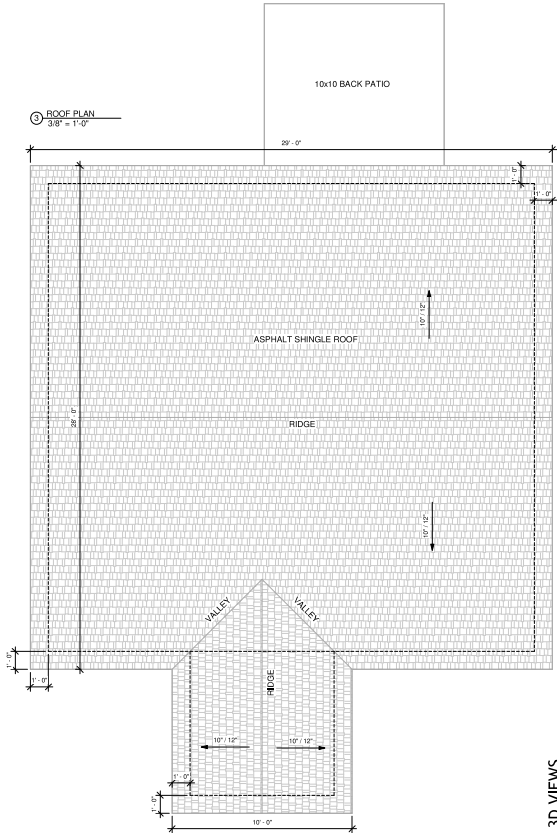
W Sharpe St, Statesville, NC 28677

Timemark
Camera

SQ. FT. CALCS:	
1ST FLOOR: (HEATED)	702 SQ. FT.
FRONT PORCH:	64 SQ. FT.
BACK PATIO:	100 SQ. FT.



The DUNKIRK



SLATE

DESIGN DRAWING

COMPLETED:

CODY GATLIN

CODY GATLIN DESIGN, INC.

IRON STATION, NC

75449-7502

CODYGAT@GMAIL.COM

The DUNKIRK

ISSUE

DATE

01.01.18

06/25/22

REVISION

DATE

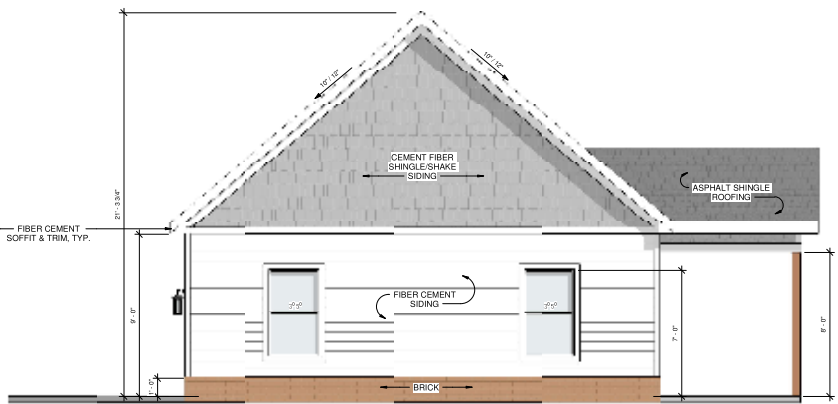
SHEET

000

3D VIEWS
SCALE: As Indicated



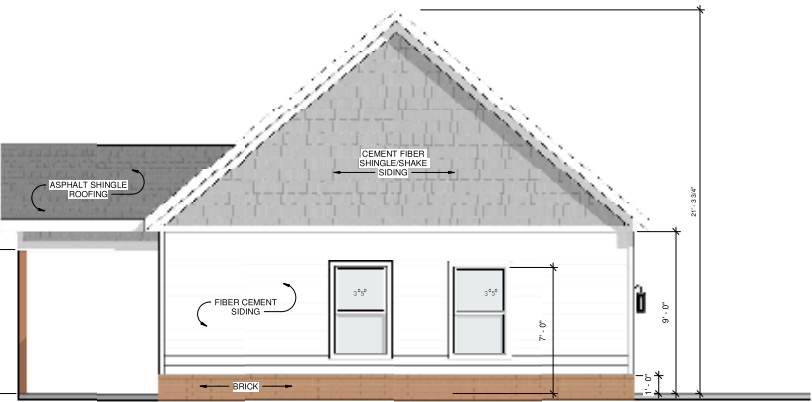
1 Front Elevation
38' = 1'-0"



2 Left Elevation
38' = 1'-0"

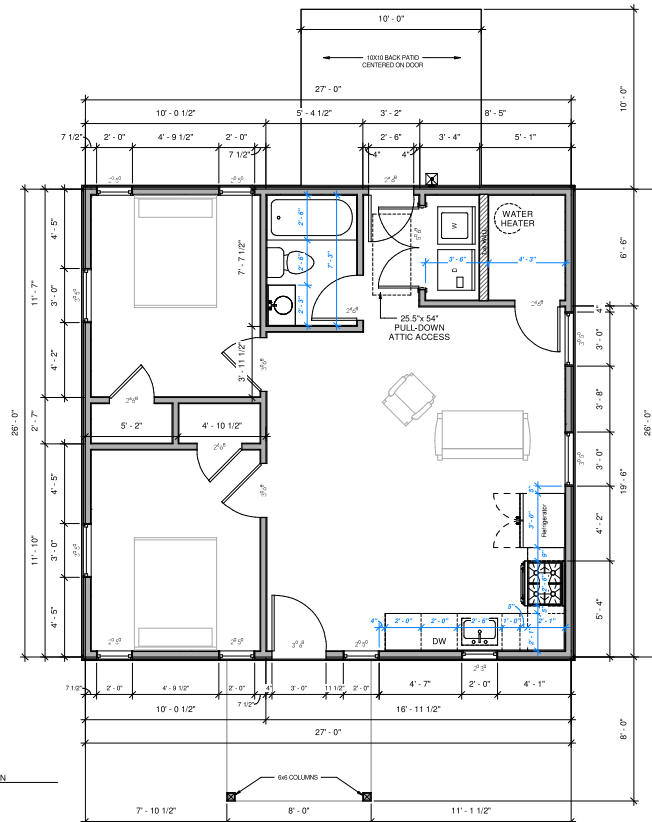
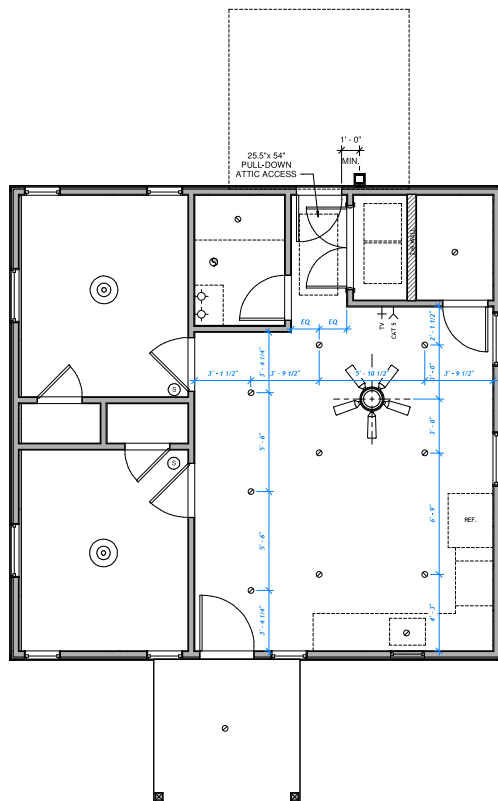


3 Rear Elevation
38' = 1'-0"























4 Right Elevation
38' = 1'-0"

ISSUE	DATE
01:48 R.001	06/25/22
REVISION	DATE



CHING PLAN LEGEND

	2-WAY SWITCH		CARBON MONOXIDE DETECTOR		CEILING MOUNTED LIGHT		DECORATIVE PENDANT FICTURE
	3-WAY SWITCH		EXHAUST FAN		WALL MOUNTED SCONCE LIGHT		CEILING FAN W/ LIGHT
	OUTLET LOCATION		EXHAUST FAN/ LIGHT COMBO		EXTENDER SCONCE LIGHT		FLUSH-MOUNT SHOW LIGHT
	TV		NEW LIGHT		EXTERIOR FLOOD LIGHT FIXTURE		
	CAT 5		PENDANT LIGHT				
	SMOKE ALARM						

DIMENSION TYPES (ASSUMING 1/2" DRYWALL)	
 <p>BLACK DIMENSION LINES READ FRAMING EDGE TO FRAMING EDGE</p>	 <p>BLUE DIMENSION LINES READ FINISH FACE TO FINISH FACE</p>

<u>SQ. FT. CALCS:</u>	
1ST FLOOR: (HEATED)	702 SQ. FT.
FRONT PORCH:	64 SQ. FT.
BACK PATIO:	100 SQ. FT.

FLOOR PLANS
SCALE: As indicated

ISSUE	DATE
REVIEW SET	Ox/25/2
REVISION	DATE

SHEET

100

SHEET

100

The DUNKIRK

SLATE | [www.slate.com](#)

**DESIGN DRAWINGS
COMPLETED BY:**
CODY GATLIN
CODY GATLIN DESIGN, INC.
IRON STATION, NC
704-956-7826
CODYGAT@GMAIL.COM

Mountain Sage Hardie/Shake



Timber Bark Hardie/Shake



Arctic White Hardie/Shake



Aged Pewter Hardie/Shake



Pewter Gray



Barkwood



Birchwood



Options for architectural shingles

Charcoal



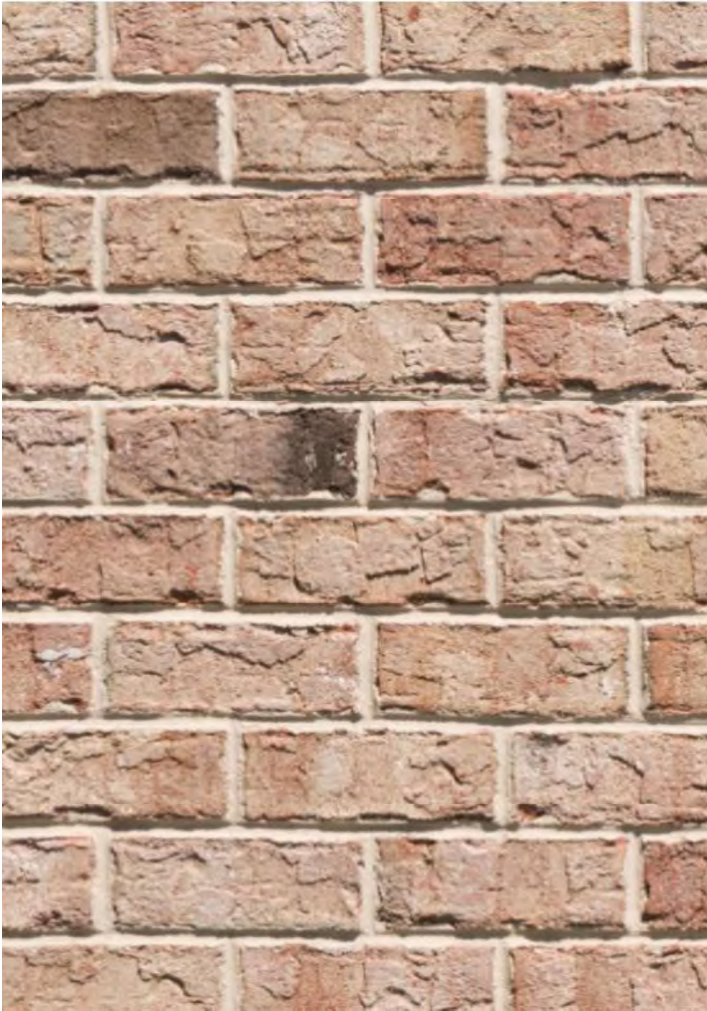
Driftwood



Fox Hollow Gray

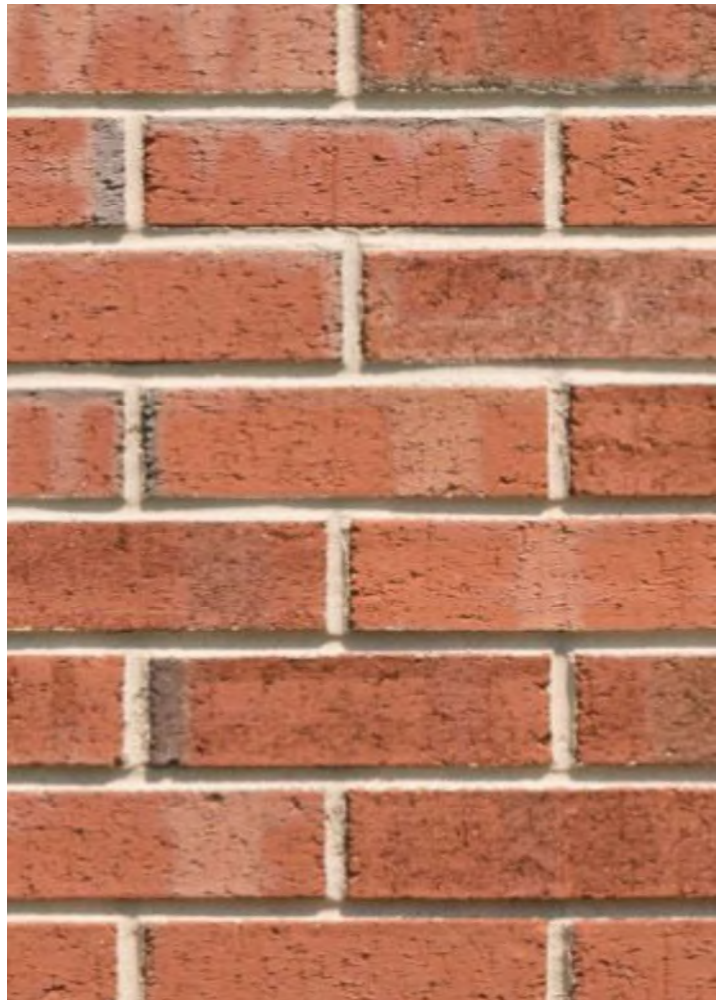


Charleston Brick



Options for brick water table

North Carolina Flashed Wirecut Brick



Black



Options for outdoor sconce

Tannery Bronze



Front and Back Door



1-800-Simpson



Email Us

[Contact Us](#) | [Careers](#) | [EZQ](#)



6802 CRAFTSMAN TWO PANEL-TWO LITE

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 3/4" FP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

 [Use my location to provide accurate pricing](#)

STANDARD OPTIONS

Quantity

1

[Change Quantity](#)

Change Door Shape

Planning to Stain or Paint?

[view more](#)

☒ Stain ☐ Paint

Wood Species

Fir

Original Slab Width

[view more](#)

Feet

3

Inches

0

Fraction

0

Original Slab Height

[view more](#)

6



8

0

Door Casing to match siding

6/3/25, 8:31 AM

m2o Quote Form

Reeb Report		
	PELLA CAROLINA INC TRADE & COMMERCIAL 772 GALLIMORE DAIRY RD SUITE 101 GREENSBORO NC 27265 336-379-8550	

Project Information (ID #9306014 Revision #13726460)		Hide
Project Name: Dunkirk Plans..Slate 06-02-2025	Quote Date: 06/02/2025	
Customer:	Submitted Date:	
Contact Name:	PO#:	
Phone (Main):	Sales Rep Name: Burt Harold	
Phone (Cell):		
Customer Type:		
Terms:		

Delivery Information		Hide
Shipping Contact:	Comments:	
Shipping Address:		
City:		
State:		
Zip:		

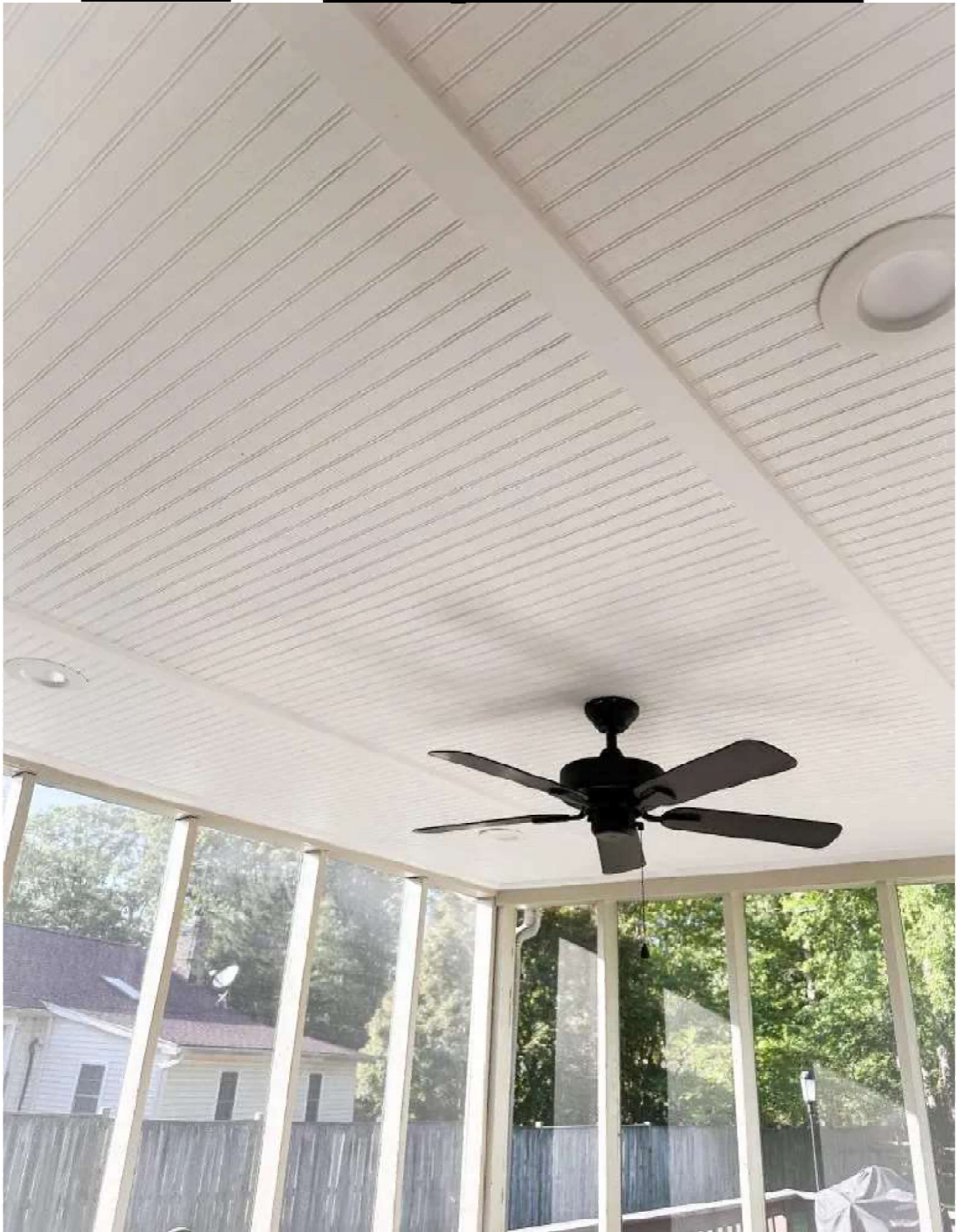
Unit Detail			Hide All Configuration Options
Item: 0003: Ext 32" x 80" S4812-SDLF1LE RHI 4 9/16" FrameSaver	Location:	Quantity: 1	



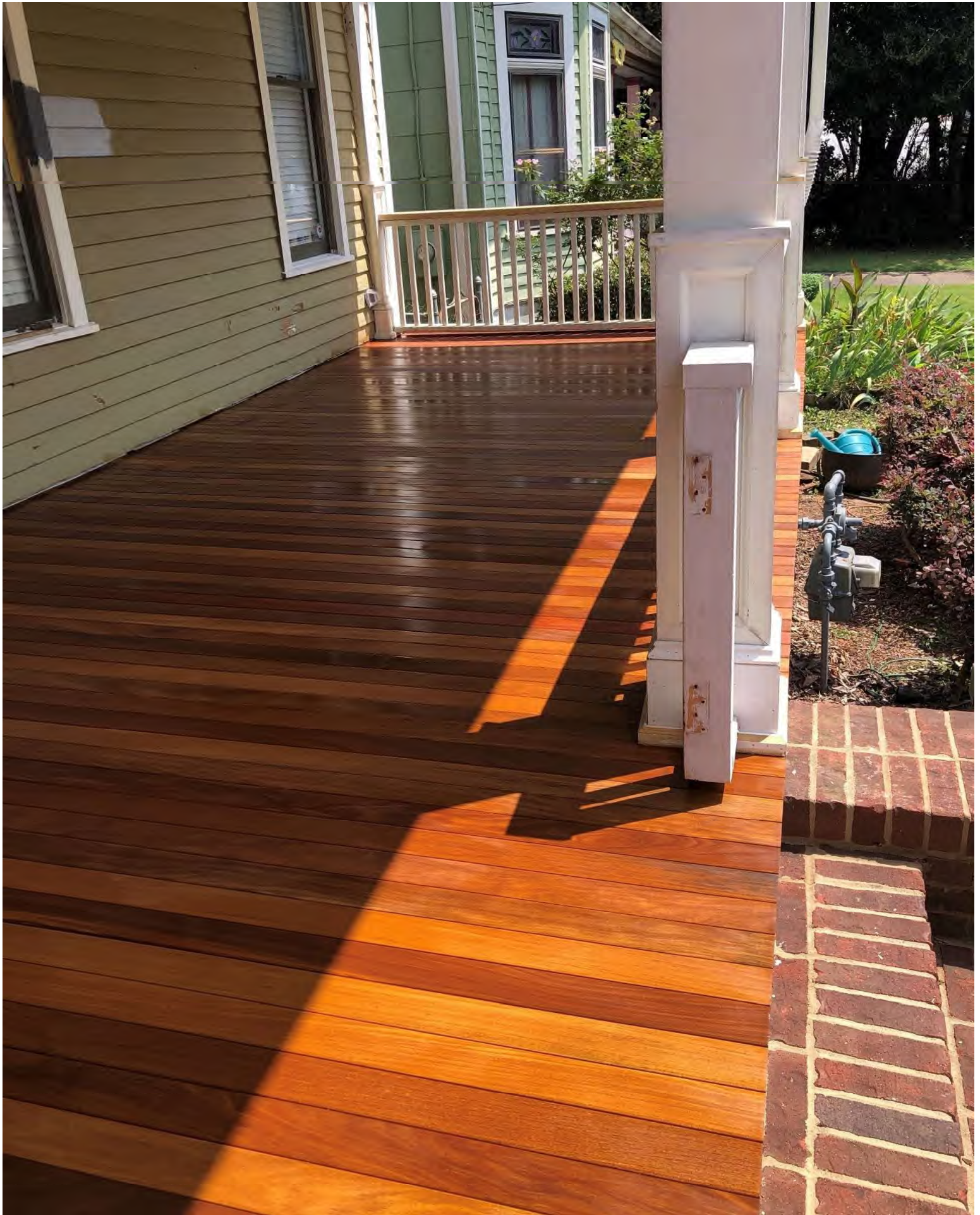
Exterior View

Smooth Star 32"x80" Single Door

Bead Board ceilings - Will be painted white



Tongue & Groove Flooring - Will be stained to match the wood columns



Cedar wrapped columns to be stained



Mahogany stain to be used on the porch flooring and columns



Front Door Sign

Top (Large): 642 W Sharpe Street

Bottom (Small): Est. 2025



Window Style



Window Details

Customer: Slate Building Group, LLC Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025 Order Number: 390 Quote Number: 19587984

Line #	Location:	Attributes								
10	Front Bed Left	<div><div></div><div>Viewed From Exterior</div></div> <div>PK # 2205</div>	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White	<table><tr><th>Item Price</th><th>Qty</th><th>Ext'd Price</th></tr><tr><td>\$654.24</td><td>1</td><td>\$654.24</td></tr></table>	Item Price	Qty	Ext'd Price	\$654.24	1	\$654.24
Item Price	Qty		Ext'd Price							
\$654.24	1	\$654.24								
<div>1: 23.559,5 Double Hung, Equal</div> <div>Frame Size: 23 1/2 X 59 1/2</div> <div>Unit Type: No Program</div> <div>General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray</div> <div>Exterior Color / Finish: Standard Enduraclad, White</div> <div>Interior Color / Finish: Unfinished Interior</div> <div>Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude</div> <div>Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor</div> <div>Screen: Full Screen, White, InView™</div> <div>Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements</div> <div>Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)</div> <div>Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".</div>										

Rough Opening: 24 - 1/4" X 60 - 1/4"

Line #	Location:	Attributes				
15	Front Bed Left	<div><div></div><div>Viewed From Exterior</div></div> <div>PK # 2205</div>	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White	<div><div>Item Price</div><div>\$761.87</div></div>	<div><div>Qty</div><div>1</div></div>	<div><div>Ext'd Price</div><div>\$761.87</div></div>
<div>1: 23.559.5 Double Hung, Equal</div> <div>Frame Size: 23 1/2 X 59 1/2</div> <div>Unit Type: No Program</div> <div>General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray</div> <div>Exterior Color / Finish: Standard Enduraclad, White</div> <div>Interior Color / Finish: Unfinished Interior</div> <div>Glass: Insulated Tempered Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude</div> <div>Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor</div> <div>Screen: Full Screen, White, InView™</div> <div>Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.46, CPD PEL-N-35-00555-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements</div> <div>Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)</div> <div>Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".</div>						

Rough Opening: 24 - 1/4" X 60 - 1/4"

Customer Notes: Tempered glass due to code and door location.

Customer: Slate Building Group, LLC

Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025

Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes				
20	Kitchen	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White		<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
<div><div></div><div>Viewed From Exterior</div></div>				\$761.87	1	\$761.87
PK # 2205		1: 23.559.5 Double Hung, Equal Frame Size: 23 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Tempered Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.46, CPD PEL-N-35-00555-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".				

Rough Opening: 24 - 1/4" X 60 - 1/4"

Customer Notes: Tempered glass due to code and door location.

Line #	Location:	Attributes		
25	Kitchen	Lifestyle, Double Hung, 23.5 X 35.5, Without HGP, White		
<div><div><div>PK #</div><div>2205</div></div><div>Viewed From Exterior</div></div>		Item Price	Qty	Ext'd Price
		\$529.76	1	\$529.76
1: 23.535.5 Double Hung, Equal Frame Size: 23 1/2 X 35 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, FPA FL 12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 14.5, Clear Opening Area 2.045305, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 118".				

Rough Opening: 24 - 1/4" X 36 - 1/4"

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Printed on 6/3/2025

Contract - Detailed


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Customer: Slate Building Group, LLC


Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025

Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes		
30	Living Room	Lifestyle, Double Hung, 35.5 X 59.5, Without HGP, White		
 Viewed From Exterior		Item Price	Qty	Ext'd Price
		\$813.52	2	\$1,627.04
PK # 2205		1: 35.559.5 Double Hung, Equal Frame Size: 35 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 2 Locks, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 32.312, Clear Opening Height 26.5, Clear Opening Area 5.946306, Egress Meets minimum clear opening and 5.7 sq.ft Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 190".		

Rough Opening: 36 - 1/4" X 60 - 1/4"

Line #	Location:	Attributes		
35	Rear Bed Left	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White		
 Viewed From Exterior		Item Price	Qty	Ext'd Price
		\$654.24	1	\$654.24
PK # 2205		1: 23.559.5 Double Hung, Equal Frame Size: 23 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".		

Rough Opening: 24 - 1/4" X 60 - 1/4"

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Printed on 6/3/2025

Contract - Detailed


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Customer: Slate Building Group, LLC

Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025

Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes		
40	Rear Bed Left	Lifestyle, Double Hung, 35.5 X 59.5, Without HGP, White		
 Viewed From Exterior	PK # 2205		Item Price	Qty
			\$813.52	1
				Ext'd Price
				\$813.52
		1: 35.559.5 Double Hung, Equal		
		Frame Size: 35 1/2 X 59 1/2		
		Unit Type: No Program		
		General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray		
		Exterior Color / Finish: Standard Enduraclad, White		
		Interior Color / Finish: Unfinished Interior		
		Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude		
		Hardware Options: Cam-Action Lock, 2 Locks, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor		
		Screen: Full Screen, White, InView™		
		Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 32.312, Clear Opening Height 26.5, Clear Opening Area 5.946306, Egress Meets minimum clear opening and 5.7 sq.ft		
		Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)		
		Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 190".		

Rough Opening: 36 - 1/4" X 60 - 1/4"

Line #	Location:	Attributes		
45	Front Bed Left	Lifestyle, Double Hung, 35.5 X 59.5, Without HGP, White		
 Viewed From Exterior	PK # 2205		Item Price	Qty
			\$813.52	1
				Ext'd Price
				\$813.52
		1: 35.559.5 Double Hung, Equal		
		Frame Size: 35 1/2 X 59 1/2		
		Unit Type: No Program		
		General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray		
		Exterior Color / Finish: Standard Enduraclad, White		
		Interior Color / Finish: Unfinished Interior		
		Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude		
		Hardware Options: Cam-Action Lock, 2 Locks, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor		
		Screen: Full Screen, White, InView™		
		Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 32.312, Clear Opening Height 26.5, Clear Opening Area 5.946306, Egress Meets minimum clear opening and 5.7 sq.ft		
		Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)		
		Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 190".		

Rough Opening: 36 - 1/4" X 60 - 1/4"

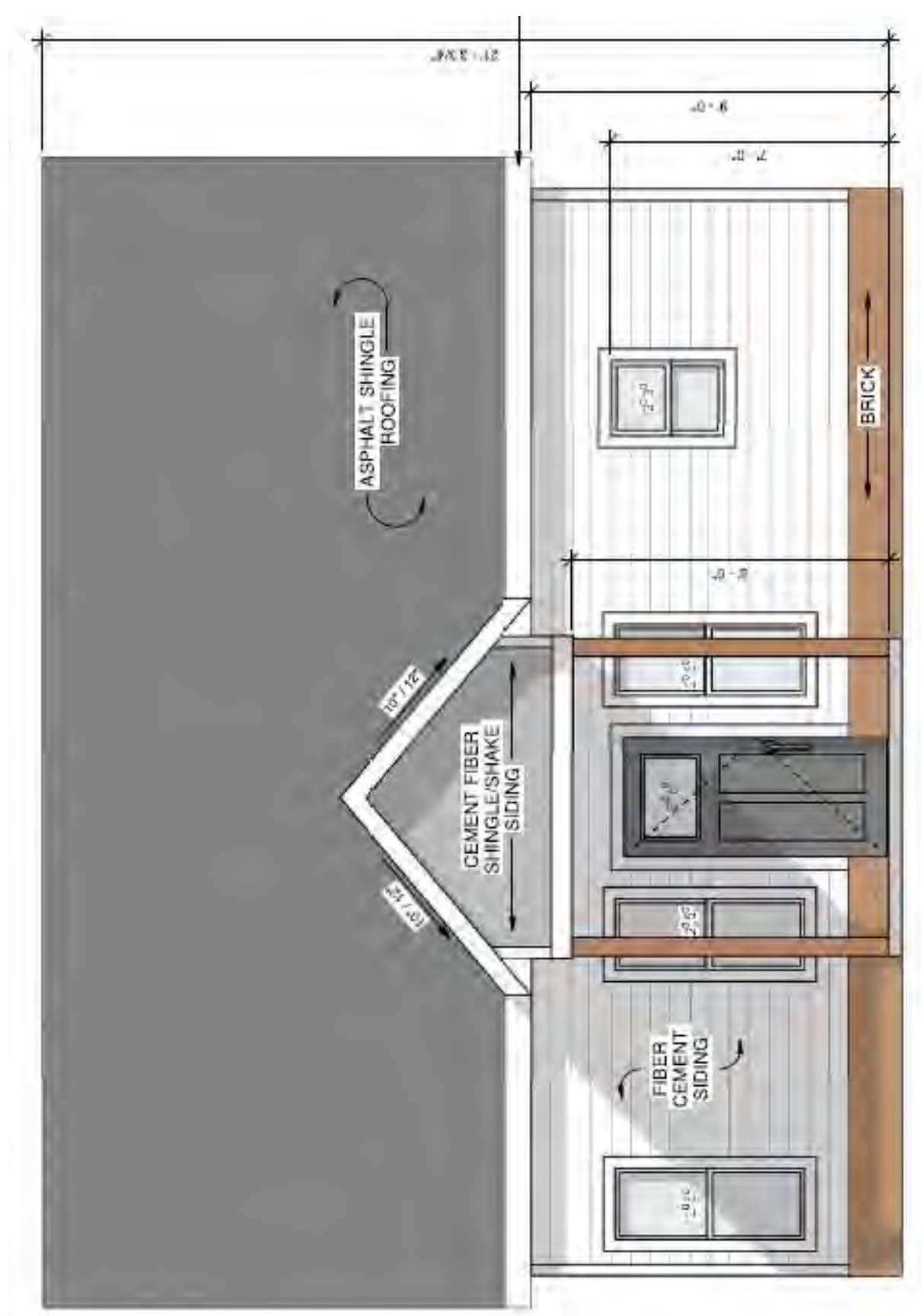
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Printed on 6/3/2025

Contract - Detailed

Page 5 of 16

642 W Sharpe Street – Proposed New Construction



Front Elevation

642 W Sharpe Street – Proposed New Construction



East Elevation

642 W Sharpe Street – Proposed New Construction



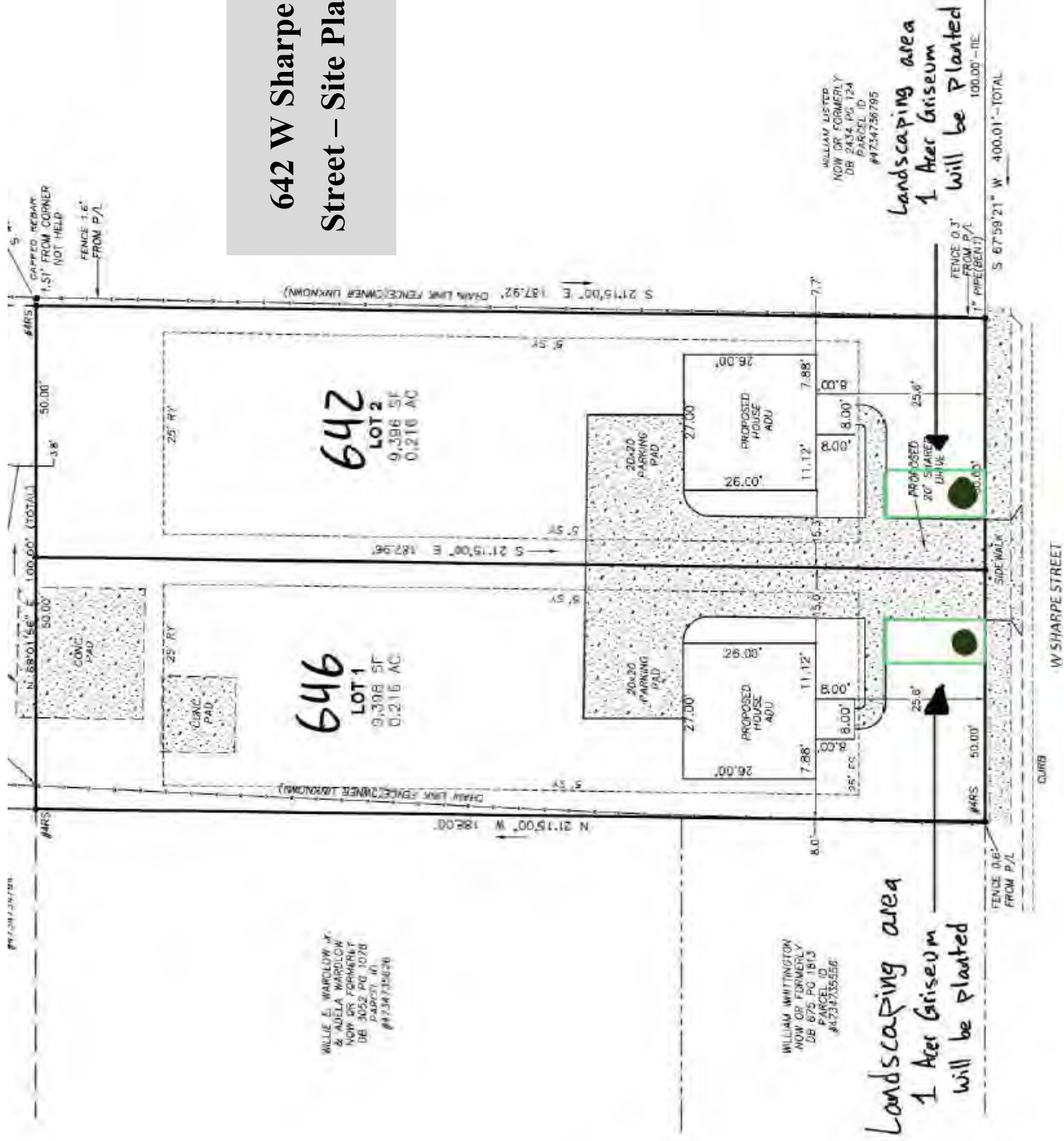
West Elevation

642 W Sharpe Street – Proposed New Construction



Rear Elevation

642 W Sharpe Street – Site Plan



Staff Report

To: Historic Preservation Commission Members
From: Marci Sigmon, Planner II
CC: Sherry Ashley, Planning Director; Herman Caulder, Assistant Planning Director
Date: July 17, 2025
Re: COA25-17 646 W Sharpe Street; Tax Map 4734-73-5695

Background

The property located at 642 West Sharpe Street is currently a vacant parcel. The property is zoned R-5, single-family, and located in the South Race Street Local Historic District.

Request

The owner, Northway Homes LLC, is requesting to construct a new single-family home on the property. The structure will be a one story 740 square foot home with a front porch. The house will be twenty-seven feet wide, twenty-six feet in depth, and twenty-one feet three and three fourths inches in height.

Materials requested:

- Fiber cement siding for the exterior walls.
- Architectural shingles in one of the following colors: Power Gray, Charcoal, Barkwood, Driftwood, or Fox Hollow Gray.
- Brick Foundation one foot in height with one of the following brick colors: Wilmington Brick or Cape Cod Brick. The brick will be full sized brick installed by a brick mason.
- The front porch will have tongue and groove flooring, fiber cement beadboard ceilings painted white, and authentic cedar wood-wrapped columns. The porch floor and columns will be stained a Mahogany color.
- The front and back doors will be two-panel-two-lite design fir wood with clear glass by Simpson Craftsman. The door casing will be fiber cement to match the house siding.
- The windows will be double-hung vinyl two over two by Pella. The window specifics are included in the applicant's submitted documents (See attached).
- Outdoor lighting sconces will be installed in Black or Tannery Bronze (see attached lighting designs).
- A sign will be placed at the front door stating the house's address and the year the house was built. The sign will be made of bronze metal.
- The site plan identifies the property will have a shared driveway with 642 West Sharpe Street, a parking pad at the rear of the house, and a walkway from the driveway to the front porch. The applicant nor the site plan identifies what material any item will be constructed with such as concrete, pea gravel, or brick.

The applicant has included samples of all proposed materials with their application. Please see the attached documents for more details.

Commission Review

The commission must consider the following pages in the Design Guidelines when rendering their decision.

Chapter 4 New Construction & Additions, Pages 49-51: C. New Construction
Appendix: G. New Construction Materials Guide

Also consider:

Chapter 3 Changes to Building Exteriors, Pages 32-33: F. Roof
Chapter 3 Changes to Building Exteriors, Pages 39-40: I. Porches, Entrances, & Balconies
Chapter 3 Changes to Building Exteriors, Pages 36-38: H. Windows & Doors
Chapter 3 Changes to Building Exteriors, Pages 28-29: C. Masonry & Stone: Foundations & Chimneys
Chapter 2 District Settings & Site Features, Pages 13-14: D. Driveways, Walkways, & Parking Areas

Findings of Fact

The Commission must either answer all five (5) Findings of Fact in the affirmative or determine that such finding does not apply to the specific project under consideration:

1. The historic character of the property will be retained and preserved.
2. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of distinctive features, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features has been substantiated by documentary, physical, or pictorial evidence.
3. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest method possible.
4. Archeological resources will be protected and preserved in place. If such resources must be disturbed, the applicant has shown that mitigation measures will be undertaken.
5. New additions, exterior alterations, or related new construction will not destroy historic materials that characterize the property. The new work will be differentiated of the old and will be compatible with the massing, size, scale, and architectural features to protect the integrity of the property and its environment.



City of Statesville
Planning Department
Physical: 227 S Center Street
Mailing: PO Box 1111
Statesville, NC 28687

Staff Contact:
704-878-3578

File #	<u>COH 25-17</u>
Re: A.A.D.	<u>6-27-25</u>
Re: A.D.	<u>W2</u>
PIN	<u>4734-13-5695</u>
Minor Work	<input checked="" type="checkbox"/> Major Work
Zoning Use Only	Re: Land permit
Staff Use Only	

Please use **BLACK** or **BLUE INK**. Do not use other colors, or pencil. They do not photocopy.

Street Address of Property: 546 W Sharpe Street, Statesville, NC 28677

Historic District: South Race Street

Historic Property/Landmark name (if applicable): _____

Applicant's Contact Information:

Applicant's Name: Northway Homes LLC / Cyrus Mojdehi

Applicant's Address: 1800 Camden Road, Ste 107-240, Charlotte, NC 28203

Phone: (H) _____ (W) _____ (C) 980-408-9390

E-mail: Permits@northwayhomes.com

Applicant's Signature: Cyrus Mojdehi

Owner's Contact Information:

Owner's Name: Northway Homes LLC / Cyrus Mojdehi

Owner's Address: 1800 Camden Road, Ste 107-240, Charlotte, NC 28203

Phone: (H) _____ (W) _____ (C) 980-408-9390

E-mail: Permits@northwayhomes.com

Owner's Signature: Cyrus Mojdehi

Lot size: 50 feet by 187.92 feet
(Width) (Depth)

Zoning: R5 Setbacks: Front & Rear = 25'
Side = 5'

Please Note: By signing this application as the applicant, owner or both you are granting permission to staff to visit the subject property to understand site conditions.



Please describe all work that is being requested, including all dimensions, height, materials, colors, and any other pertinent information (please attach any photos, drawings or brochures that will help explain your request):

Proposed Work for New Construction Home:

Structure: Build a new single-family home named "The Dunkirk," featuring:

1 story 740sqft home with front porch. 26' x 27' dimension. Height of the home is 21' 3 3/4".

Industry-standard design with a focus on historic compatibility.

Exterior Materials:

Siding: Fiber cement siding (Hardie/Shake) in colors: Cobble Stone, Monterey Taupe, Arctic White, or Aged Pewter (options provided).

Roofing: Architectural shingles in Power Gray, Charcoal, Barkwood, Driftwood, or Fox Hollow Gray (options provided).

Brick Water Table: 3' height with options for Wilmington Brick or Cape Cod Brick. Full size actual brick to be installed by brick mason.

Porch Details:

Tongue & Groove flooring stained to match wood columns (Mahogany gel stain).

Steps on the front and rear will be constructed by brick. Full sized brick.

Bead Board ceilings painted white. Fiber cement.

Real cedar wood-wrapped columns stained to match porch flooring.

Doors & Windows:

Front and back doors: Simpson® Craftsman Two-Panel-Two-Lite style (Fir wood, clear glass).

Door casing to match siding.

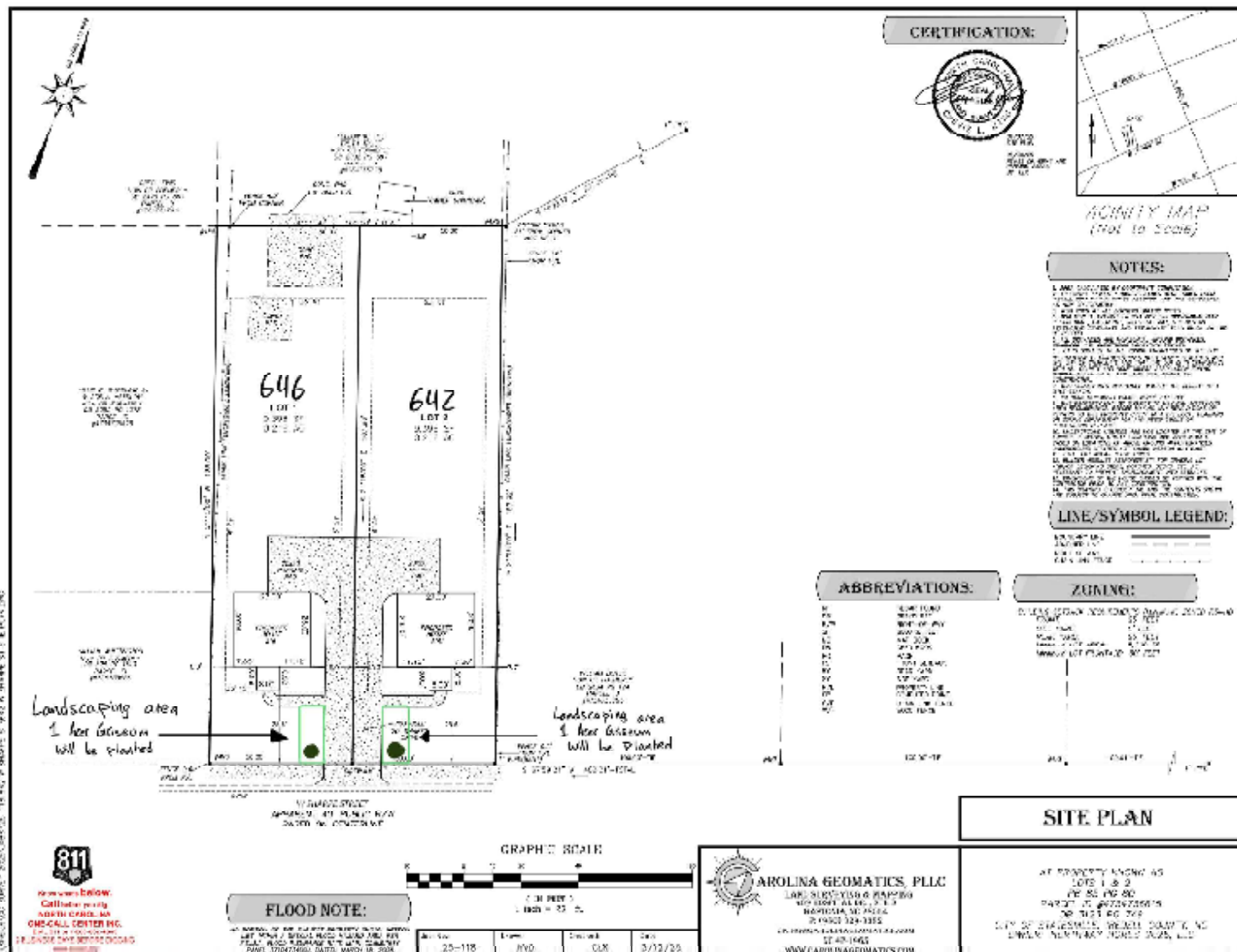
Windows: Vinyl windows by Pella. Window details attached.

Lighting: Outdoor sconces in Black or Tannery Bronze.

Signage: Front door sign with "646 W Sharpe Street" (top) and "Est. 2025" (bottom). Sign to be made of Bronze.

Supporting Documents: Scaled drawings, material samples, and photographs of existing conditions/ proposed designs attached.

There may be applications filed that are considered urgent to be reviewed due to a safety hazard, requirement of code, or another valid reason. Such cases shall be reviewed by the staff liaison.







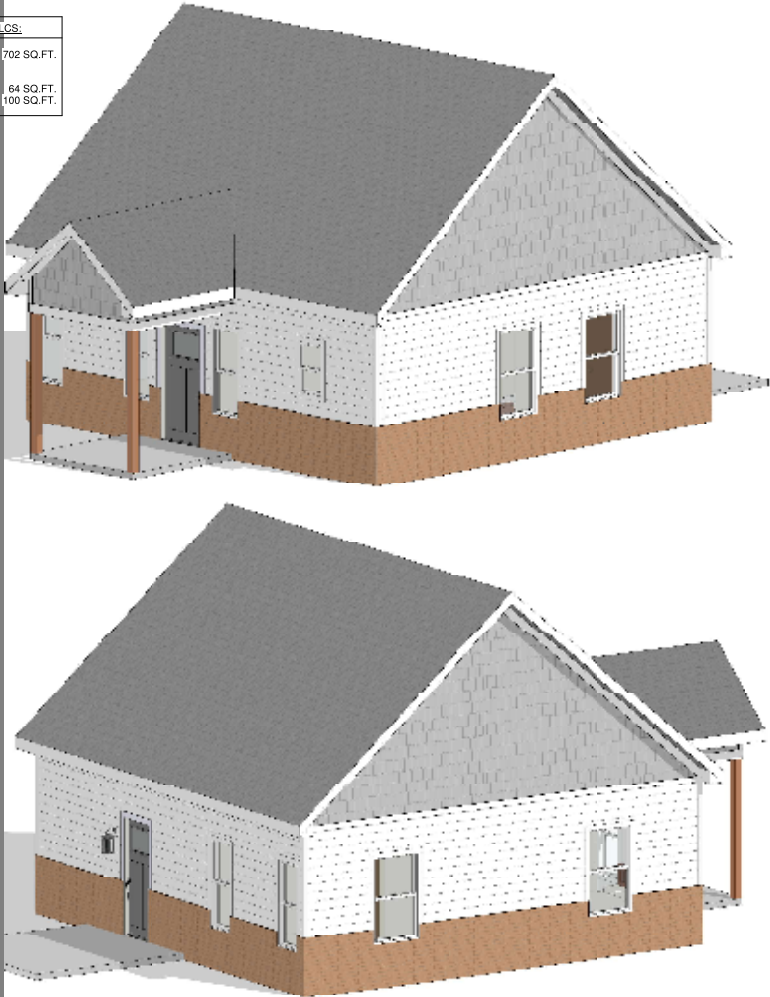
12:30 PM | May 30, 2025
Fri

W Sharpe St, Statesville, NC 28677

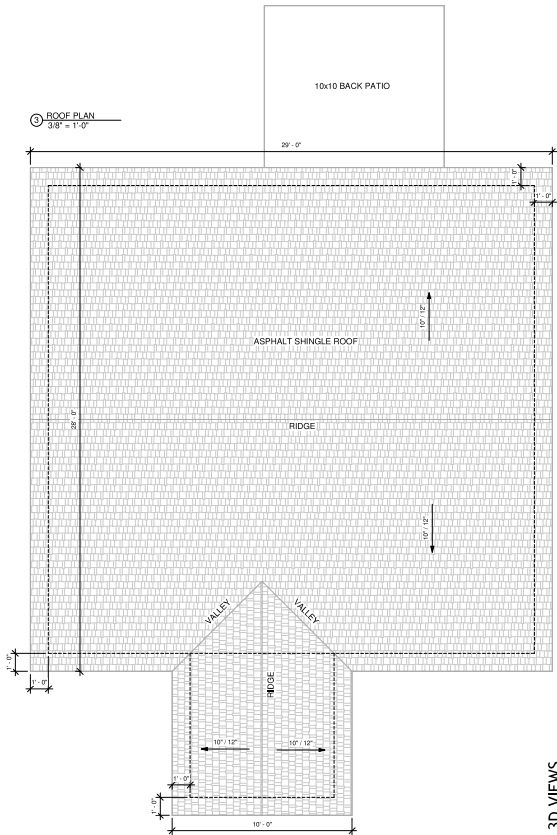
Timemark
Camera

©NLRNPTD3B3HA3 - Timemark Verified

SQ. FT. CALCS:	
1ST FLOOR: (HEATED)	702 SQ. FT.
FRONT PORCH:	64 SQ. FT.
BACK PATIO:	100 SQ. FT.



The DUNKIRK



SLATE

DESIGN DRAWING

COMPLETED:

CODY GATLIN

CODY GATLIN DESIGN, INC.

IRON STATION, NC

75449-7502

CODYGAT@GMAIL.COM

The DUNKIRK

ISSUE

DATE

01-01-2021

06/25/22

REVISION

DATE

SHEET

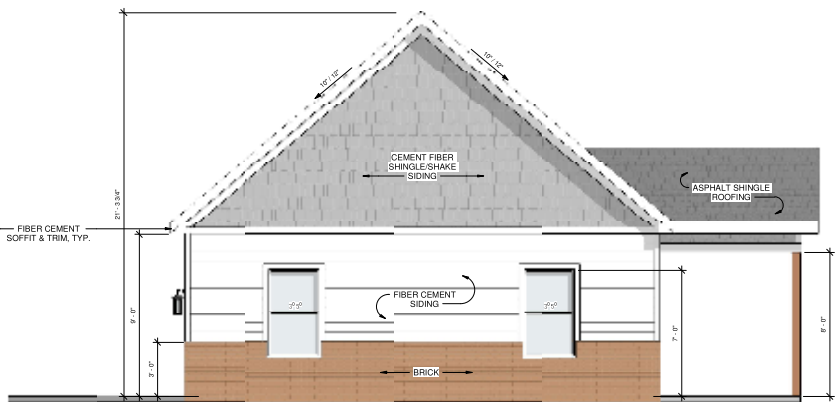
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3D VIEWS

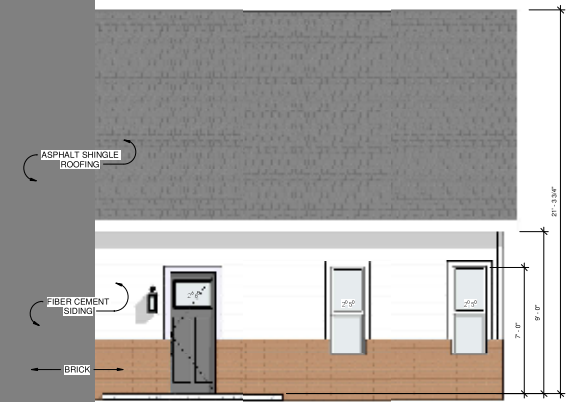
SCALE: As Indicated



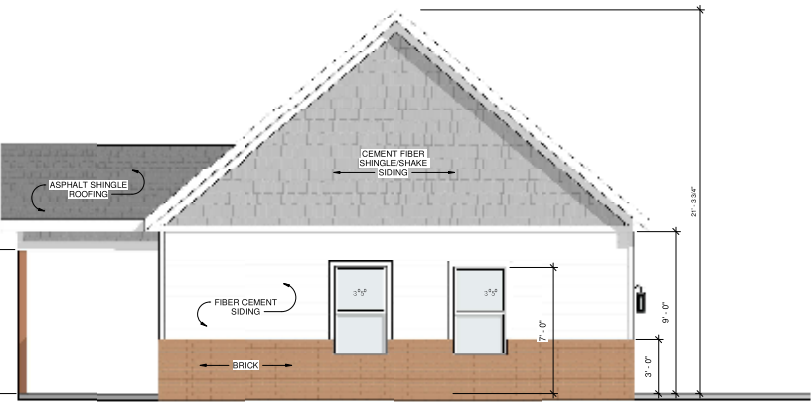
① Front Elevation
38' = 1'-0"



② Left Elevation
38' = 1'-0"



③ Rear Elevation
38' = 1'-0"



④ Right Elevation
38' = 1'-0"

SLATE

DESIGN DRAWING
COMPLETED
CODY GATLIN
CODY GATLIN DESIGN, INC.
IRON STATION, NC
754-690-7352
CODYGAT@GMAIL.COM

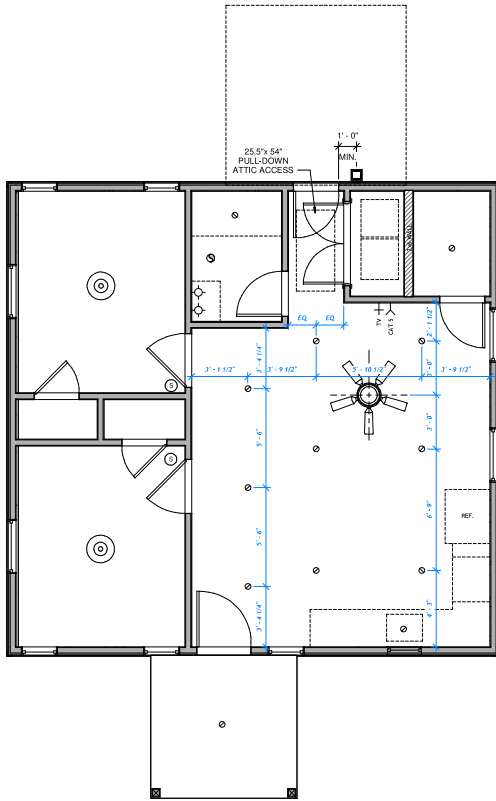
The DUNKIRK

ISSUE	DATE
01-01 R. 001	06/25/22
REVISION	DATE

SHEET

101

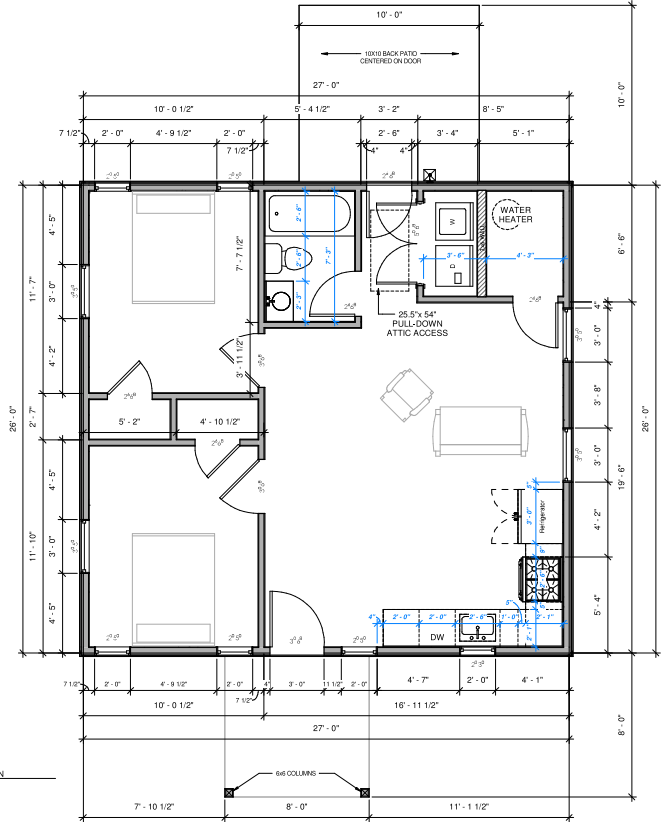
ELEVATIONS
SCALE: 3/8" = 1'-0"



LIGHTING PLAN
3/8" = 1'-0"

CEILING PLAN LEGEND			
	CARBON MONOXIDE DETECTOR		DECORATIVE PENDANT FEATURE
	EXHAUST FAN		CEILING FAN W/ LIGHT
	EXHAUST FAN LIGHT CONGO		FLUSH-MOUNT SHOP LIGHT
	DRINK LIGHT		
	PENDANT LIGHT		

FLOOR PLAN
3/8" = 1'-0"



DIMENSION TYPES (ASSUMING 1/2" DRYWALL)	
BLACK DIMENSION LINES READ FRAMING EDGE TO FRAMING EDGE	BLUE DIMENSION LINES READ FINISH FACE TO FINISH FACE

SQ. FT. CALCS:	
1ST FLOOR:	702 SQ. FT.
(HEATED)	
FRONT PORCH:	64 SQ. FT.
BACK PATIO:	100 SQ. FT.

FLOOR PLANS
SCALE: As Indicated

ISSUE	DATE
REV. 1	06/25/22
REVISION	DATE

SHEET	
100	

SLATE BUILDING GROUP

The DUNKIRK

DESIGN DRAWING
COMPLETED BY:
CODY GATLIN
CODY GATLIN DESIGN, INC.
IRON STATION, NC
25460-7502
CODYGAT@GMAIL.COM

Cobble Stone Hardie/Shake



Monterey Taupe Hardie/Shake



Arctic White Hardie/Shake



Aged Pewter Hardie/Shake



Pewter Gray



Barkwood



Birchwood



Options for architectural shingles

Charcoal



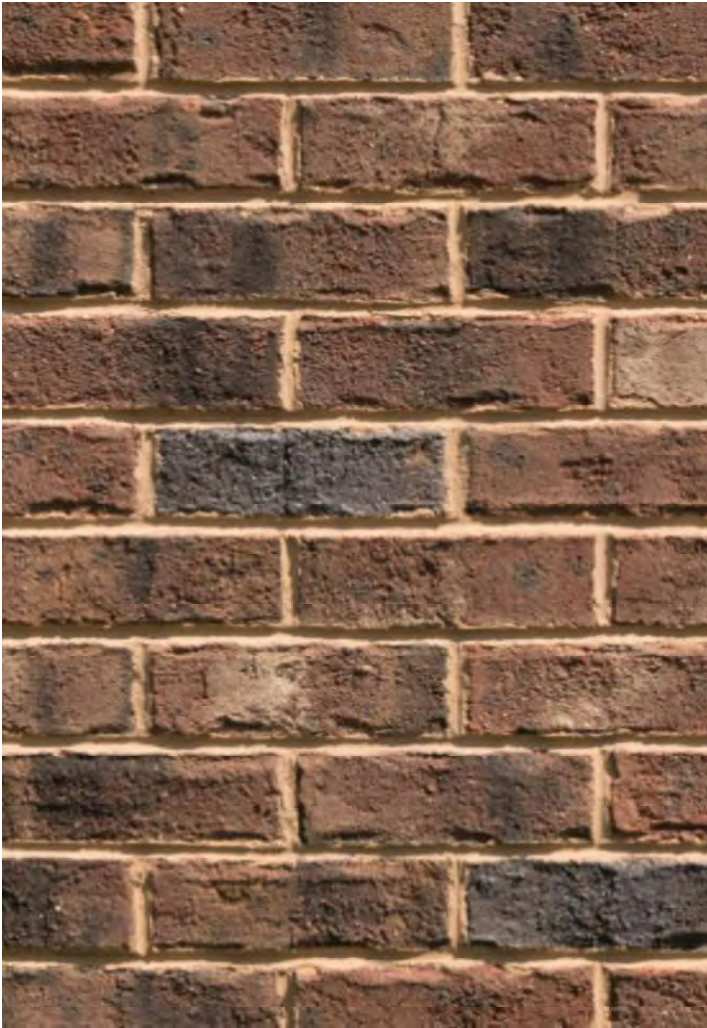
Driftwood



Fox Hollow Gray

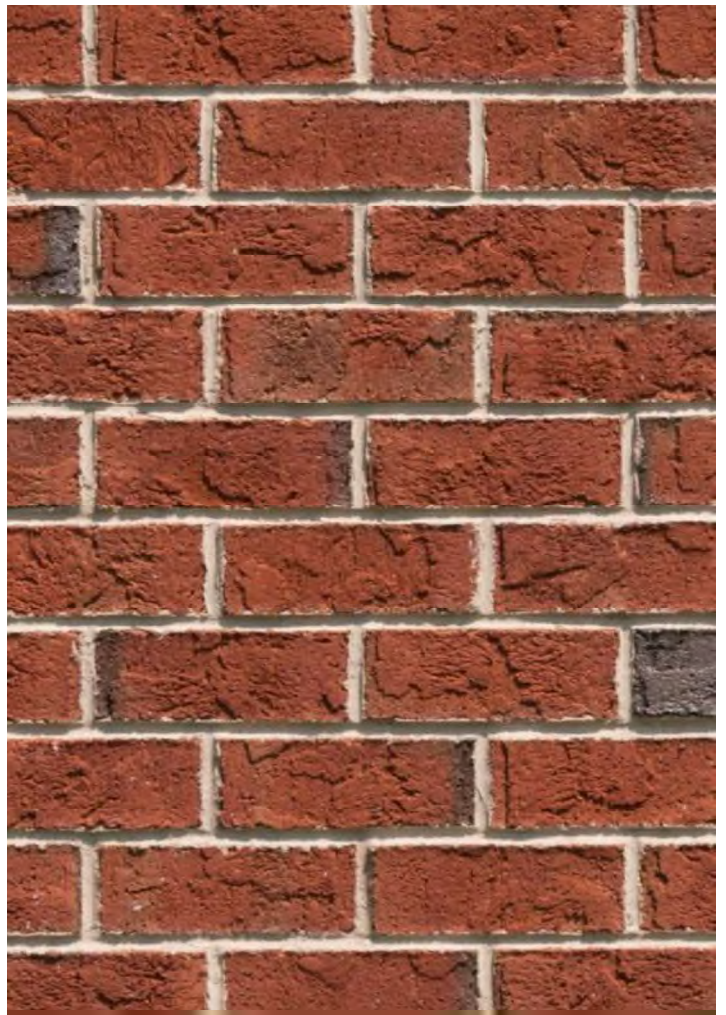


Wilmington Brick



Options for brick water table

Cape Cod Brick



Black



Options for outdoor sconce

Tannery Bronze



Front and Back Door



1-800-Simpson



Email Us

[Contact Us](#) | [Careers](#) | [EZQ](#)



6802 CRAFTSMAN TWO PANEL-TWO LITE

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 3/4" FP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

 [Use my location to provide accurate pricing](#)

STANDARD OPTIONS

Quantity

1

[Change Quantity](#)

Change Door Shape

Planning to Stain or Paint?

[view more](#)

☒ Stain ☐ Paint

Wood Species

Fir

Original Slab Width

[view more](#)

Feet

3

Inches

0

Fraction

0

Original Slab Height

[view more](#)

6



8

0

Door Casing to match siding

6/3/25, 8:31 AM

m2o Quote Form

Reeb Report		
	PELLA CAROLINA INC TRADE & COMMERCIAL 772 GALLIMORE DAIRY RD SUITE 101 GREENSBORO NC 27265 336-379-8550	

Project Information (ID #9306014 Revision #13726460)		Hide
Project Name: Dunkirk Plans..Slate 06-02-2025	Quote Date: 06/02/2025	
Customer:	Submitted Date:	
Contact Name:	PO#:	
Phone (Main):	Sales Rep Name: Burt Harold	
Phone (Cell):		
Customer Type:		
Terms:		

Delivery Information		Hide
Shipping Contact:	Comments:	
Shipping Address:		
City:		
State:		
Zip:		

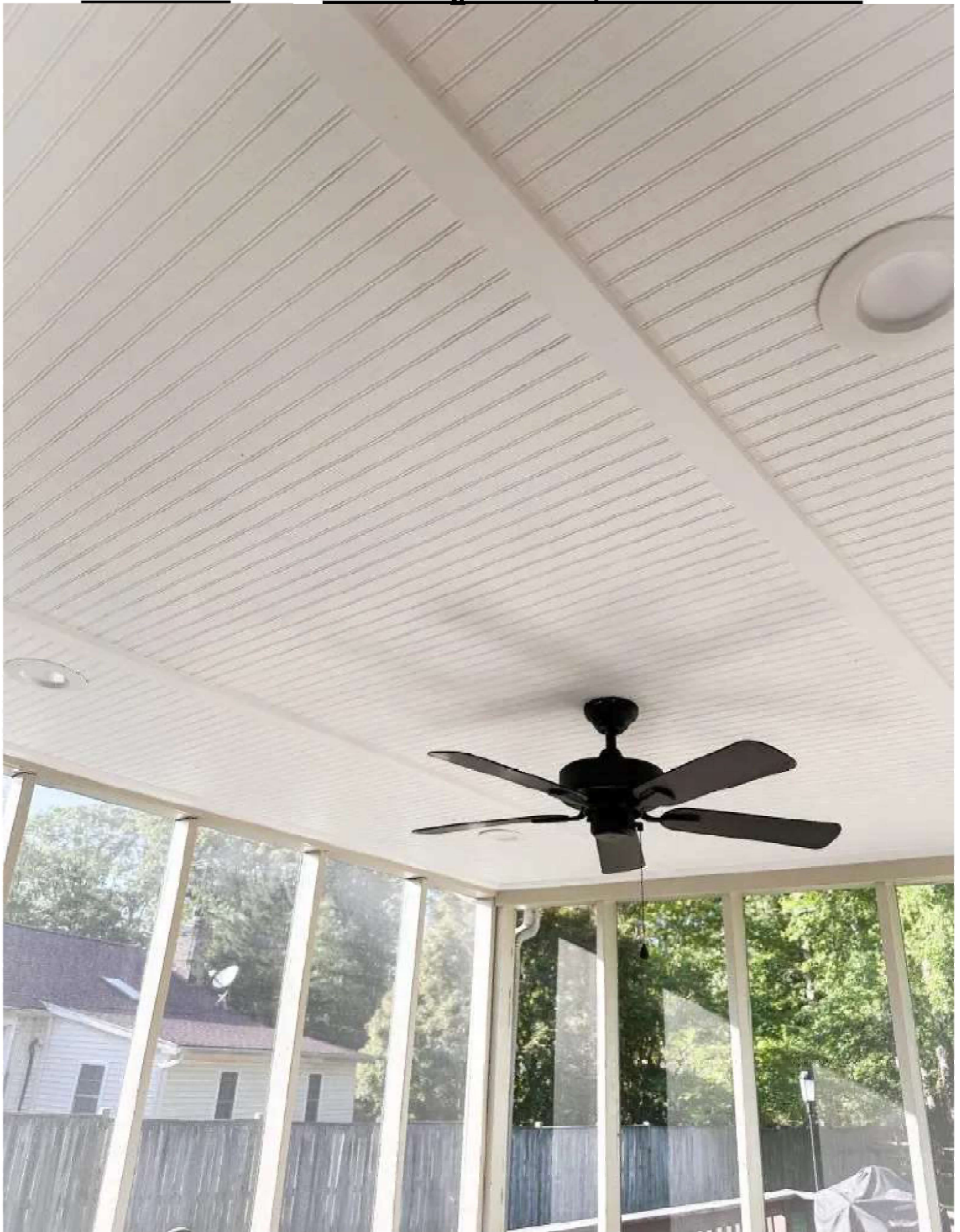
Unit Detail			Hide All Configuration Options
Item: 0003: Ext 32" x 80" S4812-SDLF1LE RHI 4 9/16" FrameSaver	Location:	Quantity: 1	



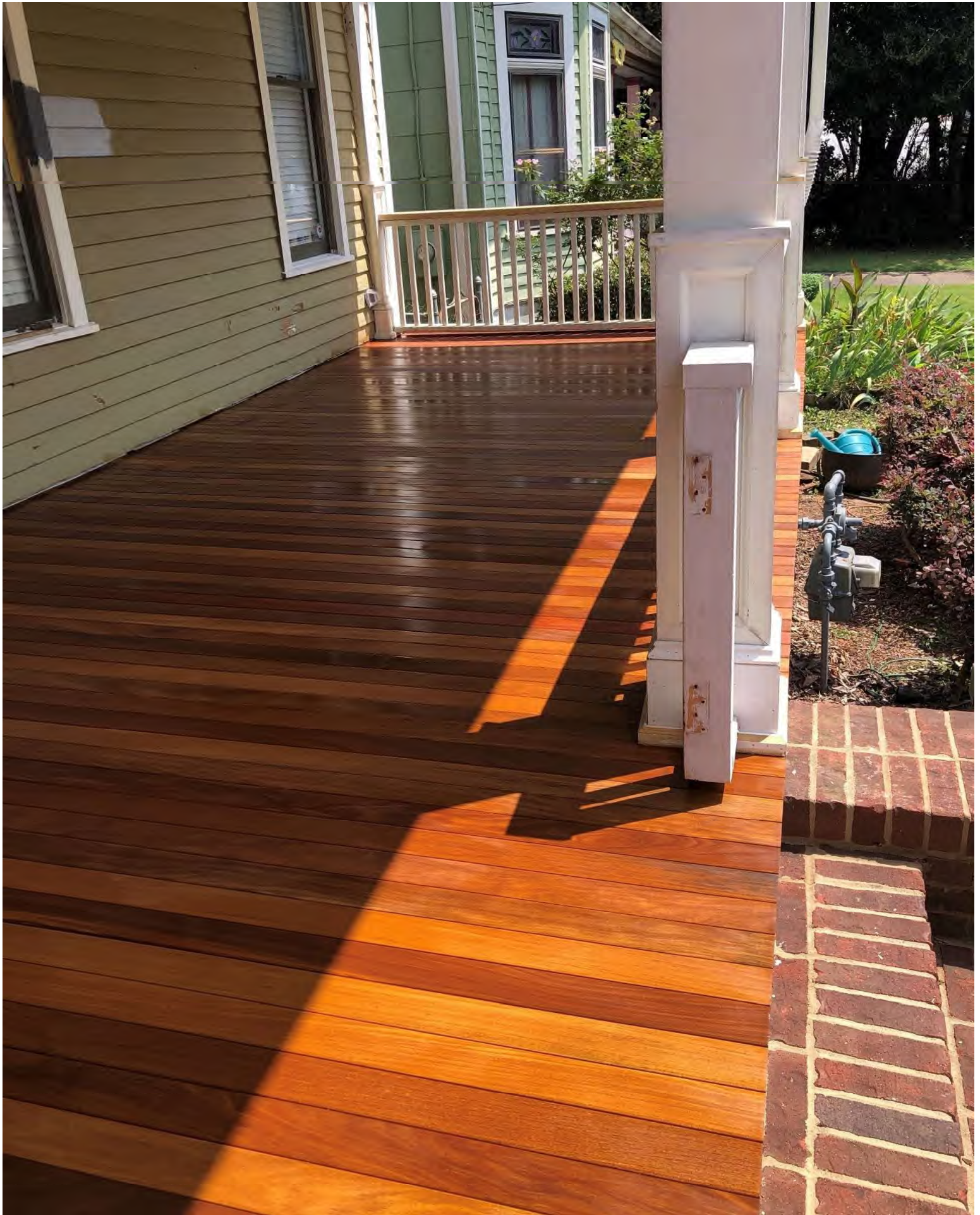
Exterior View

Smooth Star 32"x80" Single Door

Bead Board ceilings - Will be painted white



Tongue & Groove Flooring - Will be stained to match the wood columns



Cedar wrapped columns to be stained



Mahogany stain to be used on the porch flooring and columns



Front Door Sign

Top (Large): 646 W Sharpe Street

Bottom (Small): Est. 2025



Window Style



Window Details

Customer: Slate Building Group, LLC

Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025

Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes		
10	Front Bed Left	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White		
			Item Price	Qty
			\$654.24	1
				Ext'd Price
				\$654.24
	PK # 2205	1: 23.559.5 Double Hung, Equal Frame Size: 23 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".		
	Viewed From Exterior			

Rough Opening: 24 - 1/4" X 60 - 1/4"

Line #	Location:	Attributes		
15	Front Bed Left	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White		
			Item Price	Qty
			\$761.87	1
				Ext'd Price
				\$761.87
	PK # 2205	1: 23.559.5 Double Hung, Equal Frame Size: 23 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Tempered Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.46, CPD PEL-N-35-00555-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".		
	Viewed From Exterior			

Rough Opening: 24 - 1/4" X 60 - 1/4"

Customer Notes: Tempered glass due to code and door location.

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Printed on 6/3/2025

Contract - Detailed


Page 2 of 16

Customer: Slate Building Group, LLC

Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025


Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes		
20	Kitchen	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White		
 Viewed From Exterior	PK # 2205		Item Price	Qty
			\$761.87	1
				Ext'd Price
				\$761.87
		1: 23.559.5 Double Hung, Equal		
		Frame Size: 23 1/2 X 59 1/2		
		Unit Type: No Program		
		General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray		
		Exterior Color / Finish: Standard Enduraclad, White		
		Interior Color / Finish: Unfinished Interior		
		Glass: Insulated Tempered Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude		
		Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor		
		Screen: Full Screen, White, InView™		
		Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.46, CPD PEL-N-35-00555-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements		
		Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)		
		Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".		

Rough Opening: 24 - 1/4" X 60 - 1/4"

Customer Notes: Tempered glass due to code and door location.

Line #	Location:	Attributes		
25	Kitchen	Lifestyle, Double Hung, 23.5 X 35.5, Without HGP, White		
 Viewed From Exterior	PK # 2205		Item Price	Qty
			\$529.76	1
				Ext'd Price
				\$529.76
		1: 23.535.5 Double Hung, Equal		
		Frame Size: 23 1/2 X 35 1/2		
		Unit Type: No Program		
		General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray		
		Exterior Color / Finish: Standard Enduraclad, White		
		Interior Color / Finish: Unfinished Interior		
		Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude		
		Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor		
		Screen: Full Screen, White, InView™		
		Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 14.5, Clear Opening Area 2.045305, Egress Does not meet typical United States egress, but may comply with local code requirements		
		Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)		
		Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 118".		

Rough Opening: 24 - 1/4" X 36 - 1/4"

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Printed on 6/3/2025

Contract - Detailed


Page 3 of 16

Customer: Slate Building Group, LLC


Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025

Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes		
30	Living Room	Lifestyle, Double Hung, 35.5 X 59.5, Without HGP, White		
 Viewed From Exterior		Item Price	Qty	Ext'd Price
		\$813.52	2	\$1,627.04
PK # 2205		1: 35.559.5 Double Hung, Equal Frame Size: 35 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 2 Locks, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 32.312, Clear Opening Height 26.5, Clear Opening Area 5.946306, Egress Meets minimum clear opening and 5.7 sq.ft Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 190".		

Rough Opening: 36 - 1/4" X 60 - 1/4"

Line #	Location:	Attributes		
35	Rear Bed Left	Lifestyle, Double Hung, 23.5 X 59.5, Without HGP, White		
 Viewed From Exterior		Item Price	Qty	Ext'd Price
		\$654.24	1	\$654.24
PK # 2205		1: 23.559.5 Double Hung, Equal Frame Size: 23 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 1 Lock, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, FPA FL12952, STC 27, OITC 23, Clear Opening Width 20.312, Clear Opening Height 26.5, Clear Opening Area 3.737972, Egress Does not meet typical United States egress, but may comply with local code requirements Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 166".		

Rough Opening: 24 - 1/4" X 60 - 1/4"

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Contract - Detailed


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Customer: Slate Building Group, LLC

Project Name: 642 W Sharpe Street..Dunkirk Plans..06-03-2025

Order Number: 390

Quote Number: 19587984

Line #	Location:	Attributes			
40	Rear Bed Left	Lifestyle, Double Hung, 35.5 X 59.5, Without HGP, White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
	PK # 2205		\$813.52	1	\$813.52
		1: 35.559.5 Double Hung, Equal			
		Frame Size: 35 1/2 X 59 1/2			
		Unit Type: No Program			
		General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray			
		Exterior Color / Finish: Standard Enduraclad, White			
		Interior Color / Finish: Unfinished Interior			
		Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude			
		Hardware Options: Cam-Action Lock, 2 Locks, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor			
		Screen: Full Screen, White, InView™			
		Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 32.312, Clear Opening Height 26.5, Clear Opening Area 5.946306, Egress Meets minimum clear opening and 5.7 sq.ft			
		Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)			
		Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 190".			

Rough Opening: 36 - 1/4" X 60 - 1/4"

Line #	Location:	Attributes			
45	Front Bed Left	<div><div></div><div>PK # 2205</div><div>Viewed From Exterior</div></div> <div>Lifestyle, Double Hung, 35.5 X 59.5, Without HGP, White</div> <div>1: 35.559.5 Double Hung, Equal Frame Size: 35 1/2 X 59 1/2 Unit Type: No Program General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Jambliner Color: Gray Exterior Color / Finish: Standard Enduraclad, White Interior Color / Finish: Unfinished Interior Glass: Insulated Low-E SunDefense™ Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, 2 Locks, White, No Limited Opening Hardware, No Sash Lift, No Integrated Sensor Screen: Full Screen, White, InView™ Performance Information: U-Factor 0.29, SHGC 0.20, VLT 0.47, CPD PEL-N-35-00552-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, FPA FL12952, STC 27, OITC 23, Clear Opening Width 32.312, Clear Opening Height 26.5, Clear Opening Area 5.946306, Egress Meets minimum clear opening and 5.7 sq.ft Grille: SDL w/Spacer, No Custom Grille, 7/8", Traditional (2W1H / 2W1H) Wrapping Information: Steady Set - Interior Install, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, 2x4 Bracket, Manufacturer Recommended Clearance, Perimeter Length = 190".</div>	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$813.52	1	\$813.52

Rough Opening: 36 - 1/4" X 60 - 1/4"

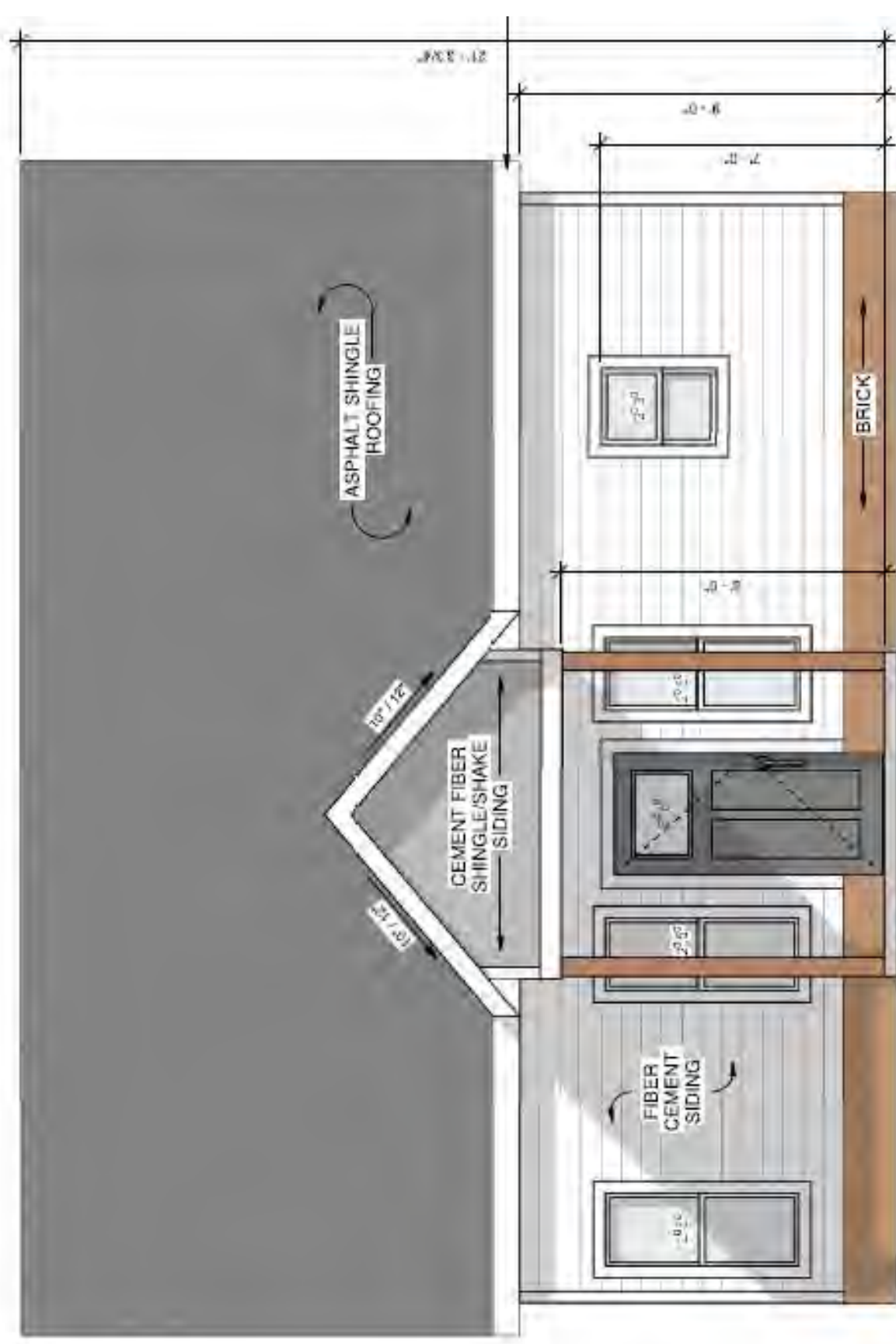
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Contract - Detailed

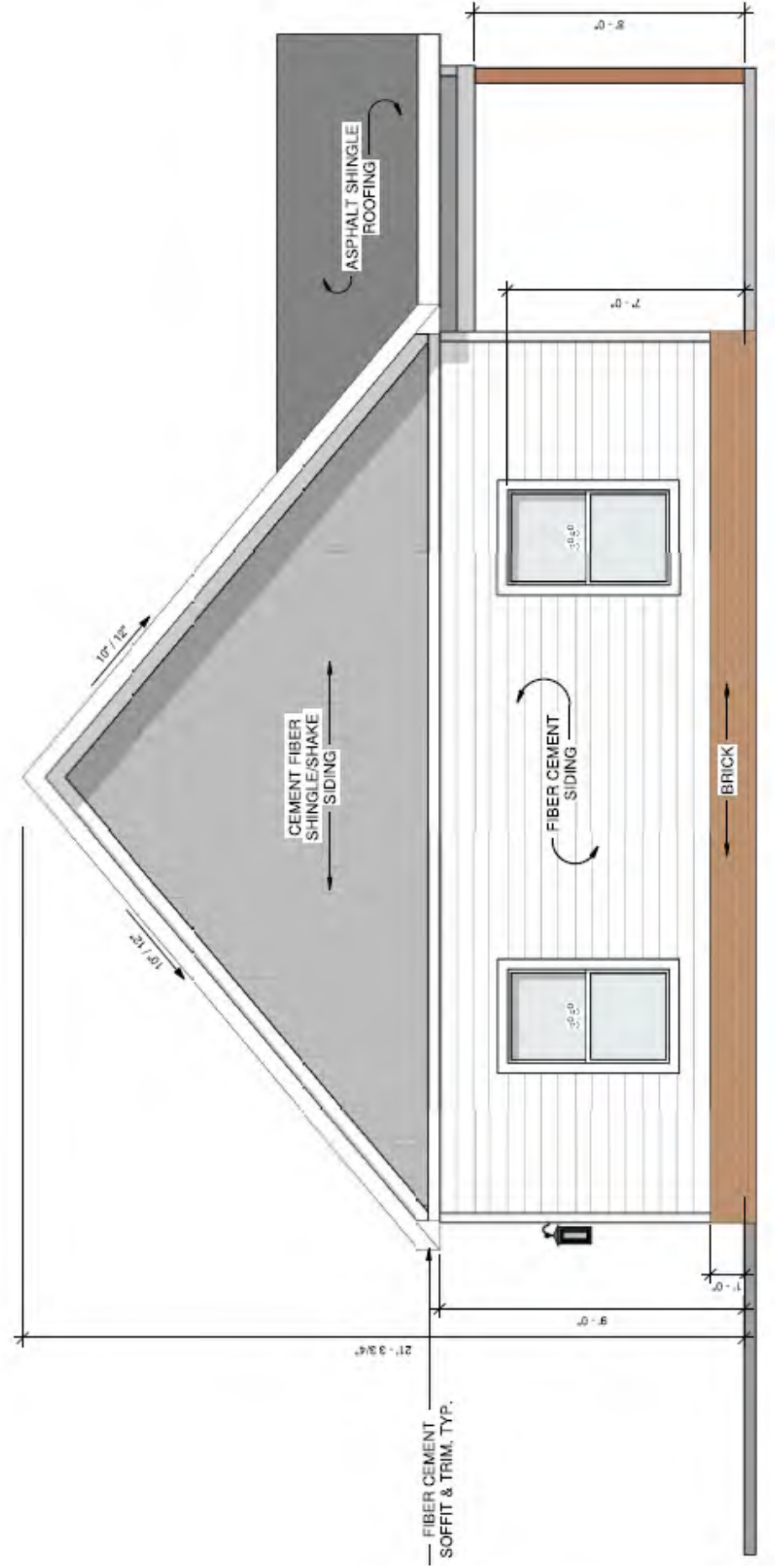
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646 W Sharpe Street – Proposed New Construction



Front Elevation

646 W Sharpe Street – Proposed New Construction



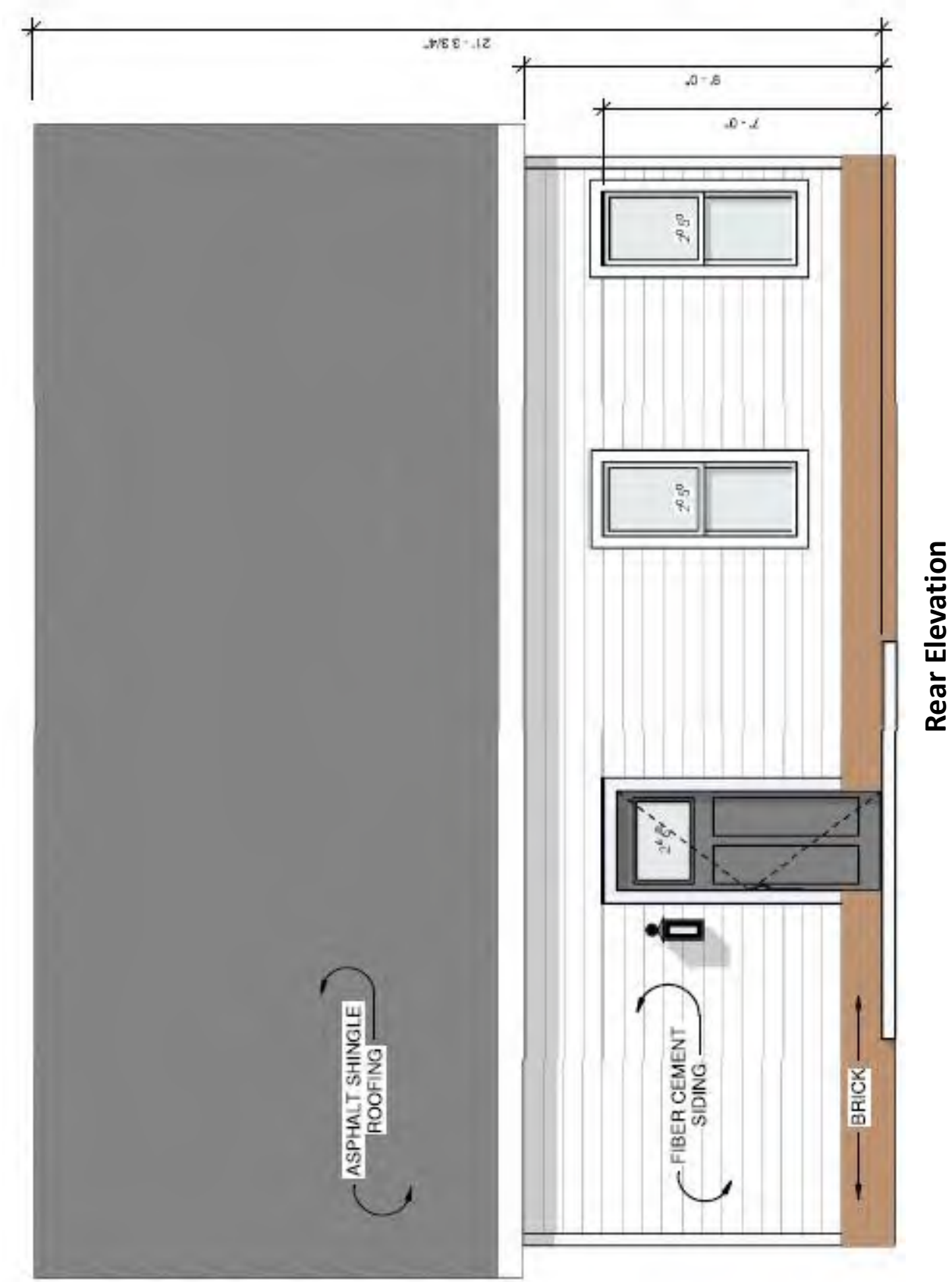
East Elevation

646 W Sharpe Street – Proposed New Construction

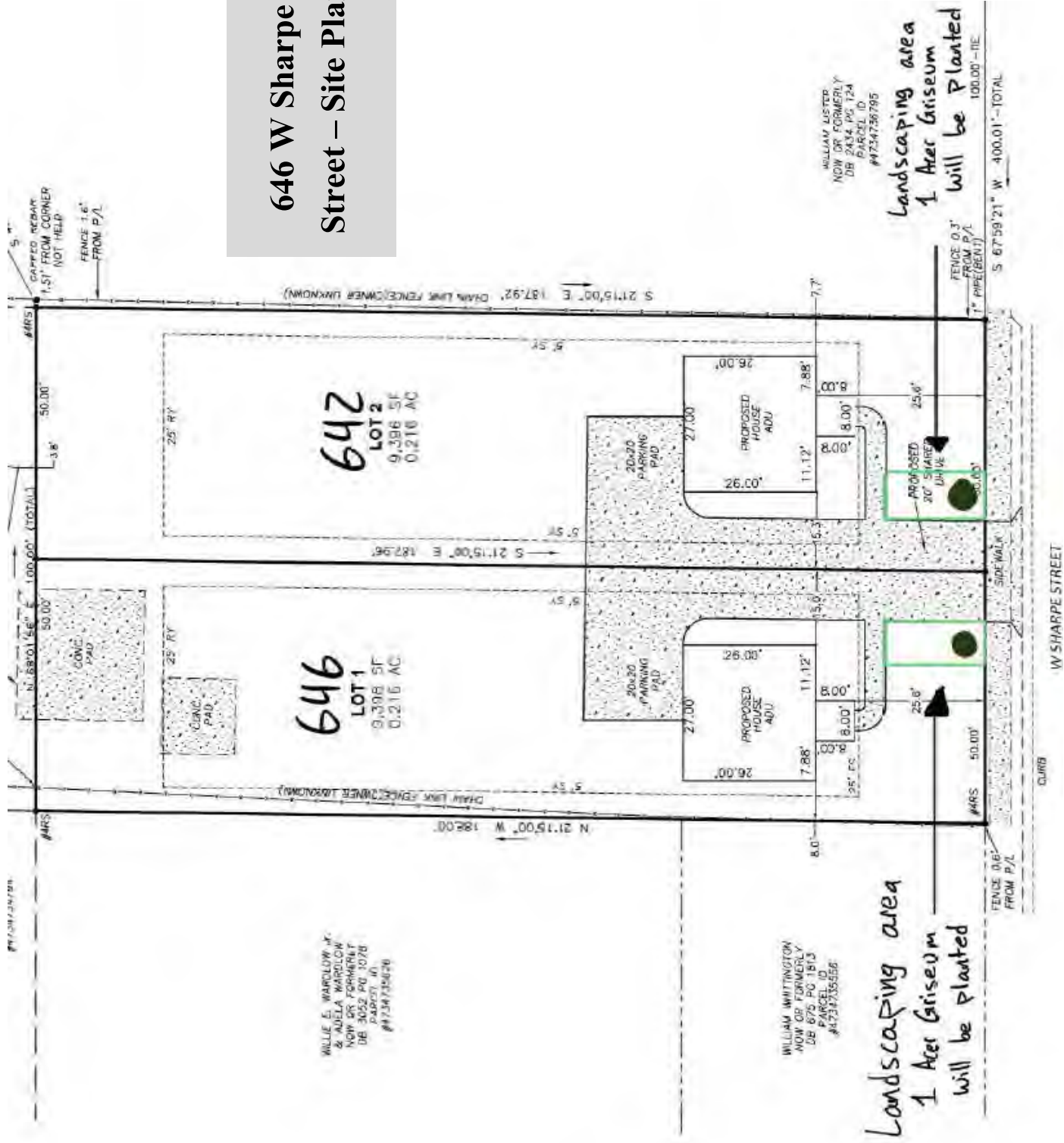


West Elevation

646 W Sharpe Street – Proposed New Construction



646 W Sharpe Street – Site Plan



646 W Sharpe Street – Existing Conditions



View of 646 W Sharpe St Vacant Lot - Looking Northwest



View of 642 W Sharpe St Vacant Lot - Looking North

C. New Construction

Within Statesville's historic districts, an undeveloped lot or the loss of a historic building may occasionally provide the opportunity for the construction of new structures. If properly sited and compatibly designed, infill buildings can enhance the overall character of a district streetscape. New construction should always reinforce the pattern and placement of earlier houses in relationship to the street.

The placement of new buildings is critical and must be carefully tailored to the specific streetscape. Although the setback from the street and the spacing between houses may vary a great deal within a large historic district, these factors are generally quite consistent within a specific block. Typical throughout the districts is the orientation of the front facade to the street. The placement of any proposed design should comply with the precedents set by the neighboring historic houses and should also take into consideration any mature trees or other significant features on the site. Other than the construction of appropriately sited and scaled accessory structures and garages, the construction of infill buildings in rear yards is not appropriate in the historic districts because it conflicts with the traditional pattern of placement and setbacks of principal structures in Statesville's historic districts.

Although new buildings within a historic district should reflect the contemporary era of construction, they must also be compatible in terms of building height, roof form, street facade proportion, scale, and overall massing with the neighboring historic houses. Beyond the initial decisions regarding overall form, their compatibility must also be reviewed in terms of finish materials, the selection and placement of windows and doors, and architectural details.

While ground disturbance is essential for new construction, it is important to keep any excavation and re-grading to a minimum and to limit the area impacted by construction equipment and related activities so that significant site features, including archaeological features, are not damaged or destroyed.



332 Kelly Street



Corner of Walnut and N Mulberry St.



West Front Street

Placement

1. Maintain a similar front, side, and rear yard setback to other contributing historic buildings on the block and/or side of the street.
2. Maintain the pattern of building separation and lot coverage that is found on the block and/ or side of the street.
3. Place outbuildings and accessory structures in side and rear yards. Avoid locations that obscure the principal building's prominent architectural features or significant site features.
4. Minimize ground disturbance during new construction to avoid unnecessary damage to unknown archaeological resources.

Building Height/Scale

1. New construction shall not exceed the allowable height per the zoning district the proposed structure will be built.
2. Make the scale of the proposed building compatible with the scale of contributing structures on the block or side of street.
3. Design the proportion (the ratio of height to width) of the proposed new building and its

architectural elements to be consistent with the proportion of contributing buildings and their associated architectural elements on the block or side of street.

4. Use windows and doors in new construction that are compatible in proportion, shape, location, pattern, and size with windows and doors of contributing buildings on the block or side of street.
5. Any new construction within the historic district shall be modeled from a contributing structure and keep within the period of significance as stated in the historical survey. The replacement building shall be of similar height, scale, massing and location as the previously existing building or building within the same block.

Materials

1. Keep the siding and trim material of the proposed building consistent with the materials traditionally used on the immediate block. Wood siding, wood shingles (as typically found in gables of Victorian period residential architecture), and brick, were common sheathing materials and should be used.
2. The use of substitute products such as vinyl, aluminum and pressed board siding and other modern day products marketed to imitate traditional building materials is not allowed. Smooth cement fiber siding may be used on a case by case basis. Use of cement fiber board siding may be approved for use on new structures. In all circumstances every effort shall be made to ensure that new structures and the application of modern day products achieve compatibility with existing historic buildings that define the character of the Historic Districts.
3. Use materials in traditional ways. New materials should appear as if they were applied in a traditional manner so as to convey the same visual appearance as historically used and applied building materials.

Details

1. Use architectural details on the building that complement the architectural details of contributing structures on the block and/or side of the street.
2. Provide a date brick or other exterior date identification marker on all new construction to assist future generations in the dating of buildings.

Texture and Color

1. Create in new construction a similar degree of texture that as is found in contributing buildings in the historic district. Texture is the relief on a building surface that is achieved through use and interaction of a variety of building materials and shapes. Materials such as weatherboard siding, decorative fish-scale shingles and beaded-board porch ceilings are examples of wooden architectural elements that have different physical and visual qualities and contribute to the “texture” of a building surface.

Form and Rhythm

1. Design new construction that reflects the basic shapes and forms on the block and in the historic district.
2. Maintain consistency with style of buildings and contributing structures found on the block and/or side of the street.
3. Maintain similar percentages and patterns of window and door openings consistent with the style of buildings. Openings which vary considerably from the established patterns found on the block in which the new construction is placed will tend to have a disruptive effect on the desired harmony of the streetscape.

Landscaping

Retain and protect mature trees during construction

Major (Commission approval required):

All applications for new construction shall go before the HPC.

Requirements for application:

Project description

Site plan showing building footprint with the proposed construction, measurements to property lines, utilities, lighting, mechanical equipment and all trees larger than 8" at dbh (diameter at breast height) measured 4' off ground.

Scaled elevation drawings showing all sides of the new construction

Material specifications, samples, and illustrations

G. New Construction Materials Guide

Siding Material:

Wood siding; 4-10" with beveled base measurement at $\frac{3}{4}$ " and with a squared edge

If corner boards are utilized, use 5/4 X 5 (4.5 total width)

Fiber Cement board siding; smooth surface beveled, 5" reveal

Shakes: regular cut wood; regular cut fiber cement board; crescent pattern when architecturally appropriate

Masonry siding, brick, stucco, or stone

Porches:

Beadboard Ceilings

Tongue and Groove flooring installed flush with interior floor

Tongue and Groove cellular PVC ceiling boards

6' minimum porch depth

Wood Railings/Columns to scale

Fiberglass Columns

Windows:

True Divided Light insulated wood windows or aluminum clad windows

Simulated divided light wood/aluminum clad windows (wood muntins on both interior and exterior with a spacer between the muntins and glass to allow for an accurate profile)

5/4 X 5 exterior casing with drip cap on top casing

Standard brick mold on masonry buildings

Doors:

Wood doors designed to match the architecture of the proposed building

Door casing to match window casing

Roofing:

Asphalt composition shingles in dark black, brown and grays (3 tab or architectural)

Gutter System should be attached as needed

Rafter tails are generally exposed

Bead Board underlayment is generally utilized where exposed

Foundation:

Brick or stone

F. Roofs

The obvious role of the roof is to shelter the structure from the weather. The roof is considered one of the most important features in protecting and preserving a structure. Therefore at all costs, the visual prominence of the roof form and pitch makes their preservation critical to preserving the overall character of a historic building. The variety of roof forms found throughout Statesville's historic districts reflects the diversity of architectural styles they contain. Although both steep gable and hip roof forms are the most typical of the many Victorian era roofs, gambrel and mansard roofs are the most typical of the many Queen Anne era roofs. The lower pitched gabled roofs a representative of the bungalows. Corbelled chimneys, prominent dormers, vertical towers, elaborate gable trim work, exposed brackets, and boxed cornices are all historic roof features that enhance the architectural character of historic roofs. While many roofs are now covered in contemporary asphalt or composition shingles, a number of metal roofs both pressed shingle and standing seam are found in the districts. There are a few houses that still have a slate or tile roof.



Tile Roof



Asphalt Shingles



Metal Shingles

Guidelines:

1. Retain and preserve original roof form, pitch, overhang and significant features such as chimneys, dormers, turrets, cornices, balustrades and widow's walks.
2. It is not appropriate to remove built in gutters. Install new gutters and downspouts, if needed, with care so that architectural features are not damaged. Paint or select enamel finishes for gutters and downspouts in colors compatible with the building.
3. Preserve and maintain historic roofing materials that are essential in defining the architecture of a historic structure, such as clay "mission tiles" or patterned slate. If replacement is necessary, replace only the deteriorated material with new material to match the original.
4. Retain historic roofing materials; if replacement is necessary due to deterioration, match the historic material as closely as possible in color, shape, size and texture. Acceptable substitute roofing materials as determined by the Historic Preservation Commission shall be allowed. Since historic roofing materials were traditionally dark in color light colored composition shingles are not appropriate. Galvanized standing seam with a large "agricultural" ridge (5V), usually for ventilation is not acceptable in the historic district, except in some cases for accessory structures. Instead standing seam metal with a crimped edge should be used.
5. Preserve and maintain original roof details such as decorative rafter tails, ornamental brackets, crown molding, soffit boards, or cresting. If replacement is necessary, the new detail should match the original.
6. It is not appropriate to install contemporary features such as mechanical equipment, satellite dishes, dormers, chimneys, ventilators, solar panels, and skylights on roofs of historic buildings unless they can be located in areas that are not visible from the street and do not compromise the historic character of the roof.
7. Avoid altering the existing roof pitch or introducing new roof pitch.

Major (Commission approval required):

Change in roofing material, including the removal and replacement of slate, terra cotta tile, standing seam metal, and metal shingle roof material. (Asphalt shingles are not included)
Removal, Repair or replacement of built in gutter systems or other roof features
Modern style roofing material

Minor (Staff approval required):

Change in roofing materials when roofing material is not documented as contributing on the historic survey. (The applicant shall choose a product close to the original in style and durability when replacement over entire roof is warranted).
Installation, modification or removal of vents and ventilators
Removal, addition or modification of chimney caps that is not original to the structure

Routine:

Patching and/or coating the roof.
Installation of gutters and downspouts when original features are not altered or removed
Replacement of existing roofing materials, vents and ventilators when there is no changes from the existing material, style and texture.

Requirements for application:

Materials List
Photos of the original roof
Brochure or photos of the proposed roofing material

Appropriate Roof Covering:

Metal: Standing Seam or Decorative Shingles
Tile
Slate
Cedar Shakes
Fiberglass/ Asphalt (3 tab or architectural) Shingles
Modern Roofing Material

I. Porches, Entrances, and Balconies

Deep front porches span the full width of many homes and line the streetscapes of Statesville's historic districts contributing in significant ways to their overall character. Although the stylistic details vary, the functional and decorative features of these one story wooden porches typically include columns, pilasters, balustrades, soffits, piers, steps, beaded board ceilings, and tongue-and-groove floors. Second story balconies and an occasional classically detailed two-story portico also can be found within the districts.



Guidelines:

1. Retain and preserve historic porches, entrances and doorways including related features such as railings, posts or columns, ceilings, steps, lattice, flooring, visible piers, ornamental trim, side-lights and other character defining elements.
2. Repair, rather than replace, historic porch and entrance elements, wherever feasible. Use repair techniques which preserve historic material, including patching, epoxy repair, reinforcing, or splicing-in of new wood in place of deteriorated sections. Replacement elements should match the original in size, shape, pattern, color, and texture.
3. Use appropriate materials in the repair and restoration of historic porches. Woods that are naturally rot-resistant or treated will provide the greatest durability for exposed elements such as railings, steps, flooring, and floor framing. The use of pressure-treated wood is appropriate when painted within six months. The use of substitute material that duplicates the look and patina, and architectural detail is allowed.
4. Covering a porch with non-historic material such as vinyl or metal siding, or "winterizing" a screened porch by permanently attaching plastic sheeting is not permitted.
5. Using indoor-outdoor carpeting to weather-proof a porch floor is not permitted.
6. If all or parts of a historic porch, entrance, or balcony are missing, either replace it to match the missing original (based upon accurate documentation) or replace it with a design that is compatible with the historic building and district.
7. It is not appropriate to significantly alter the street facade of a historic building by either introducing a new porch, entrance, or balcony or removing an original porch, entrance, or balcony.
8. It is not appropriate to add features or details to a porch, entrance, or balcony in an attempt to create a false historic appearance.
9. Screening a porch may be appropriate when it is installed and designed in a way that does not alter or detract from the details of the original porch and uses compatible materials to the original structure. For example, porches may be screened if the framing is recessed, the screening placed behind columns or balustrades and the framing can be removed in the future without damaging historic elements of the porch.
10. Because of their character defining role it is not appropriate to enclose front porches. Side and rear porches may be enclosed to create sunrooms if the design of the enclosure is compatible with the architecture of the structure and does not result in a loss of historic fabric or architectural detail.
11. Gates of any kind at the foot of porch steps create an unnecessary visual barrier and are not appropriate.

12. Replacement of wooden front porch floor with a poured concrete floor is not appropriate in the historic district.

Major (Commission approval required):

- Enclosure of porches
- Removal/adding porches on front or visible elevations from the street
- Construction of New Exterior stairs and steps

Minor (Staff approval required):

- Replacement of deteriorated trim boards, flooring and ceiling, steps and railings, cheek walls and similar projects
- Screening of side/rear porches according to guidelines
- Removal or addition of porches on the rear elevations or areas not visible from the street
- Modifications to existing stairs or steps

Routine:

- Minor repairs to materials and features when repaired to match the original
- Repairs to porch flooring and ceilings, trim boards, railings, brackets, stairs and similar projects when there is no change in design, materials or general appearance

Requirements for application:

- Project description
- Photos of architectural features proposed to be replaced
- Scaled elevation drawings for addition of missing porches, balconies, and similar projects
- Construction details for addition or replacement of porch columns, railings and similar projects

H. Windows and Doors

Windows and doors add rhythm, scale, and stylistic detail to the buildings in Statesville's historic districts as they also accommodate daylight, access, view, and ventilation for the occupants. Most typical throughout the neighborhoods are wooden double hung windows in a variety of pane configurations and paneled wooden front doors, often with glazing in the upper half. Double front doors and entrances with transoms and sidelights add interest to some of the larger homes as well. The variations in sash subdivision from the straight forward one-over-one sash of many bungalows to the elaborate diamond pane sash of some Queen Ann houses reinforce the diversity of architectural styles found throughout the districts.



Guidelines:

1. Retain and preserve the pattern, arrangement, and dimensions of window and door openings on principal elevations. Often the placement of windows is an indicator of a particular architectural style, and therefore contributes to the building's significance. If necessary for technical reasons, locate new window or door openings on secondary elevations (sides and rears), and introduce units that are compatible in proportion, location, shape, pattern, size, materials, and details to existing units.
2. For commercial and/or institutional buildings in need of a utility entrance on secondary elevations, select a location that meets the functions of the building, but is least visible from the street and causes the least amount of alteration to the building.
3. It is not appropriate to introduce new window and/or door openings into the principal elevations of a contributing historic structure.
4. Glass block replacement windows are allowed only on the side and rear elevations. Such change is only allowed per elevation as long as the window opening is not being altered.
5. Replacing panes with stained, leaded or beveled glass is potentially acceptable as long as the configuration remains the same and the new design does not conflict with the style of the building.
6. Retain and preserve original windows and doors, including such elements as sash, glass, sills, lintels, casings, muntins, trim, frames, thresholds, hardware and shutters. If repair of an original window or door element is necessary, repair only the deteriorated element to match the original in size, composition, material, dimension, and detail by patching, splicing, consolidating, or otherwise reinforcing the deteriorated section. The removal of historic materials should be avoided.
7. When repair is not feasible true divided light wood windows are an appropriate replacement product for original wood windows, when designed to match the original in appearance, detail, material, profile, and overall size as closely as possible. Double-paned glass may be considered when they are simulated true divided and can accurately resemble the original window design.
 - A. It is not appropriate to replace true divided light windows with vinyl windows or windows with snap-in muntins.

- B. Window products will be reviewed on an individual basis using the following criteria:
1. Kind and texture of materials
 2. Architectural and historical compatibility
 3. Comparison to original window profile
 4. Level of significance of original windows to the architectural style of the building
 5. Existence of lead paint or other safety hazards
 6. Material performance and durability
8. For commercial and/or institutional buildings, or the replacement of steel casement windows, if it is not feasible to repair original windows select replacement products that are compatible in proportion, location, shape, pattern, size, and details to the original window component using the criteria as stated in 7.B.
9. It is not appropriate to significantly alter the street facade of a historic building by either introducing or covering over window or door openings.
10. Introduce new windows or door openings, if necessary, in carefully considered locations and only on non-character-defining elevations.
11. It is generally not appropriate to replace clear glass with tinted and bronzed glass in the historic districts
12. Tinted glass is not appropriate in the historic district in any area visible from public view. Energy-saving or “low-E” glass may be used only if it is not tinted.
- Note: See the Utilities and Energy Retrofit section for guidelines on storm windows, storm/screen doors, awnings, and shutters.*

Major (Commission approval required):

Replacement of original window/s and door/s.

Removal or addition of a window or door opening on elevation visible from the street

Minor (Staff approval required):

Exposing a previously covered window unit with replacement according guideline number 7B

Modification of existing window openings

Modification and removals of doors, new doors that are compatible with the architectural style of the structure

Glass Block replacement window (one per elevation) on side and rear elevations

Routine:

Re-glazing of windows

Broken Window pane replacement

Repairs to original wood windows and doors when there is no change in appearance and materials

Painting window trim (not glass)

Installation of full view (glazed) storm windows and doors. Either wood or aluminum with baked enamel or painted finish is acceptable.

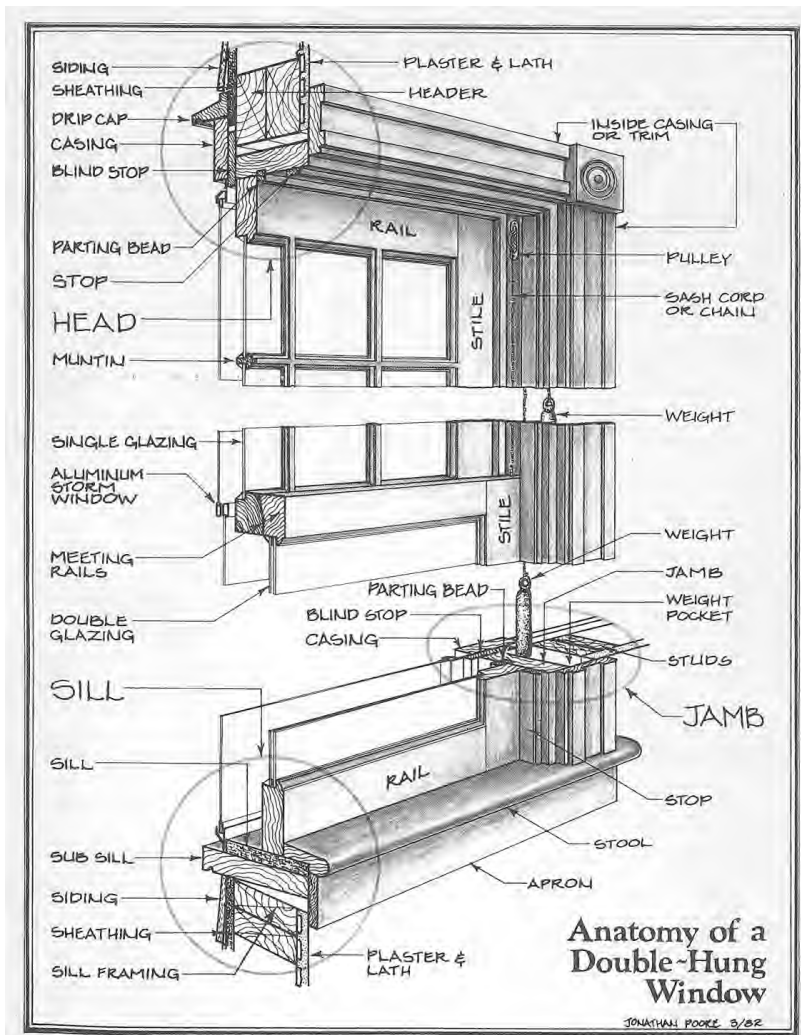
Requirements for application:

Project description

Scaled Elevation drawings of existing windows, replacement windows, and doors

Scaled elevation drawing of proposed changes to window and door openings

Photos, illustrations, samples of proposed replacement units



C. Masonry and Stone: Foundations and Chimneys

Statesville has long been known for its manufacture of brick in the nineteenth century, four brick manufacturing companies were operating in Statesville. Brick facades, river rock cobble foundations and retaining walls, tile roofs, corbelled brick chimneys, and concrete walkways are all examples of masonry features found within Statesville's historic districts. Most wood frame houses sit on raised brick foundations or piers. A wide variety of masonry features in the historic districts contribute texture, color, pattern, and scale.



Guidelines:

1. Retain and protect the historic details and finishes of masonry features and surfaces including their configuration, dimensions, bonding patterns, and texture.
2. It is not appropriate to apply a waterproof coating or painting to exposed masonry/stone. Only use water proofing elements on masonry or stone that is below grade.
3. Parging will only be allowed if it is determined the structure's masonry elements are dramatically damaged and the process will not have a detrimental effect on the architectural style of the building (reference Appendix C: Architectural Terms).
4. If a surface has been previously painted, it shall be repaint, as necessary, in the appropriate color palette related to the style of architecture.
5. When replacing damaged brick or stone, use replacements that match the original units as closely as possible.
6. For re-pointing, use only mortars that are compatible with historic mortars in composition, color, strength, and joint finish or surface tooling. Maintain the historic joint width, profile and bond patterns when making repairs. Modern mortar can cause damage to older softer brick.
7. It is not appropriate to shorten or remove original chimneys when they become deteriorated; however non-essential to the character of the structure. Chimneys/stacks that were added later may be removed if it will not diminish the original design of the roof or destroy the historic details.
8. Construct new or replacement chimneys and foundations of historically appropriate materials such as brick or stone. It is not appropriate to use substitute materials that simulate brick or stone.
9. If metal chimney caps or other covers are necessary, install them so they do not diminish the original design of the chimney or damage historic materials.
10. If all or parts of a historic masonry feature or surface are missing, either replace them to match the missing original (based upon accurate documentation) or replace it with a new design that is compatible with the building's architectural character.
11. It is not appropriate to add masonry features or details to a building or site in an attempt to create a false historic appearance.
12. Retain and preserve original and historic foundations and related elements wherever possible, including: pier size, vents, grilles, lattice, materials, and other significant details. For repairs or

- rebuilding, select new brick, mortar, ballast stones, and other materials to match the historic materials as closely as possible in all respects. Applies to visual portions only.
13. New vents or access doors should be centered between piers. Use inconspicuous vents, such as black iron or dark plastic, rather than unpainted aluminum. Locate access doors and other new openings in areas not visible from public view.
 14. For infilling between existing brick piers, construct a curtain wall that catches the ban edge on the porch and is recessed approximately 2" back from the outer face of the piers so the original piers stand out; use this treatment for both old and new foundations. Flush foundations and infill are not appropriate. Concrete block may be used only if covered with a veneer of brick or sand-finished stucco. Leave foundations under porches open wherever possible to promote air circulation to prevent rot and deterioration; use wood lattice or grilles for enclosure.
 15. Wood grilles or lattice are appropriate for infill if compatible with the period or style of the structure. Stock lightweight lattice is not appropriate in areas in the public view.

Major (Commission approval required):

- Chimney removal, construction of new or modification
- Rebuilding foundations
- Introduction of new masonry elements

Minor (Staff approval required):

- Removal of original Chimney Cap
- Construction, modification or removal of masonry
- Alteration of exposed foundations
- Gutter installations not meeting routine maintenance criteria below

Routine:

- Re-pointing masonry and stone surfaces
- Installation/removal of metal chimney caps if not original to the house
- Repair and replacement including re-pointing, to existing Masonry (including foundations) when there is no change in design, materials, or general appearance
- Installation of seamless aluminum gutters with a baked enamel finish, as long as no alterations to the soffit and fascia are done as part of the installation

Requirements for application:

- Materials List
- Product samples/Brochure
- Photos
- Diagrams showing placement of materials

D. Driveways, Walkways, and Parking Areas

The movement of automobiles and pedestrians through Statesville’s historic districts is accommodated by concrete sidewalks and brick or concrete walkways, asphalt streets edged with granite or concrete curbs, and driveways. Harkening back to an era less dominated by the automobile, some adjoining properties share narrow driveways requiring neighborly cooperation and courtesy. In the residential neighborhoods, the rear yard parking area or garage was typically designed to accommodate one or, at most, two cars. The driveways vary in their materials from gravel, to concrete runners, to asphalt toppings or concrete. Typically, they lead directly back to the rear yard or garage, although a few circular drives can be found.



Guidelines

1. Introduce new driveways, walkways, and parking areas in materials, preferably “green” materials, if possible, so the general topography of the site, is not damaged.
2. No paving materials are specifically prohibited by the SHPC. The appropriateness of non-traditional or alternative paving materials and styles will be considered on a case by case basis. Asphalt paving is not allowed for sidewalks, curb cuts and aprons.
3. In residential districts, it is not appropriate to locate parking areas:
 - a. in locations visible from the street
 - b. where the paving will abut the principal building and not allow room for foundation planting beds,
 - c. The paved area will substantially alter the proportion of the site that is paved versus landscaped.
4. Screen new off-street parking areas from view and adjacent properties through the use of perimeter plantings, fences, walls, or hedges.
5. Large Parking Areas: subdivide them with interior planting medians or islands (applies to commercial and institutional sites).
6. Commercial and/or Institutional Parking Lots /Areas: Locate them to the rear of buildings, and screen them from view with landscaping and/or fencing.

Note: Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting type, placement and intensity.

Major:

Construction of new parking areas and driveways

Minor:

Addition, Removal or Construction of walkways

Addition or Removal of existing driveways and Parking Areas

Routine:

Repair and Replacement of existing parking areas, driveways and walkways

Required for application:

Site plan

Materials list and samples

Photos of existing

Appropriate Materials:

Pea-gravel

Concrete

Brick

Stone

Asphalt (allowed but not suggested)

Inappropriate Edging Materials:

Landscaping timbers

Railroad ties

Concrete (appropriate for commercial and institutional sites)

Plastic

I. Fences and Walls

As a result of Statesville's rolling topography, retaining walls constructed of brick, stone, or cast stone edge the front yards and driveways of many homes. Stone, brick or concrete were commonly used for steps in the historic districts and generally connect the walkway from the public sidewalk to the house. Occasional low iron or wooden picket fences and hedges are used in edging the perimeter of some front and side yards of properties within the historic district. Typically the wooden fences are painted white or occasionally they are painted to match the trim color associated with the house. Iron fences are painted black or other dark colors. Higher wooden privacy fences should be located in rear yard areas. The privacy fences are utilized to enclose and screen the rear yards from street view.



Guidelines

1. Protect and maintain the functional and decorative wood, masonry, and architectural metal features of fences and walls through appropriate maintenance and repair methods.
2. Limit replacement to the deteriorated section only.
3. Introduce contemporary utilitarian fences and walls, if necessary, only in rear or rear side yards; it is not appropriate to introduce contemporary vinyl or metal chain link fences in locations that are visible from the street.
4. Fences along street frontages and front property lines may not exceed four feet in height
5. A desire for privacy or a means to confine pets to rear yards may trigger the planning of a utilitarian rear yard fence. Fences along rear property lines and rear side yards may be up to six feet in height. Fence height is measured from the bottom of the fence.
6. Contemporary vinyl or metal chain link fences are not consistent with the overall historic character of the historic districts and they should only be considered for small applications, such as dog pens, in unobtrusive locations that are not visible from the street. They are not appropriate to use for larger applications such as defining property lines. Screening new or existing metal or vinyl fencing with plantings can soften their visual impact as well.

Major:

Construction of new fences, walls, or other screening in side or rear yard over 6' in height.
Construction of new fences, walls, or other screening located in the front yard

Minor:

Construction of new fences, walls, or other screening in side or rear yard 6' or under in height
Removal of existing fences, walls, hedges or other screening material

Routine:

Repair and Replacement of fence, wall, or other screening material

Application Requirements:

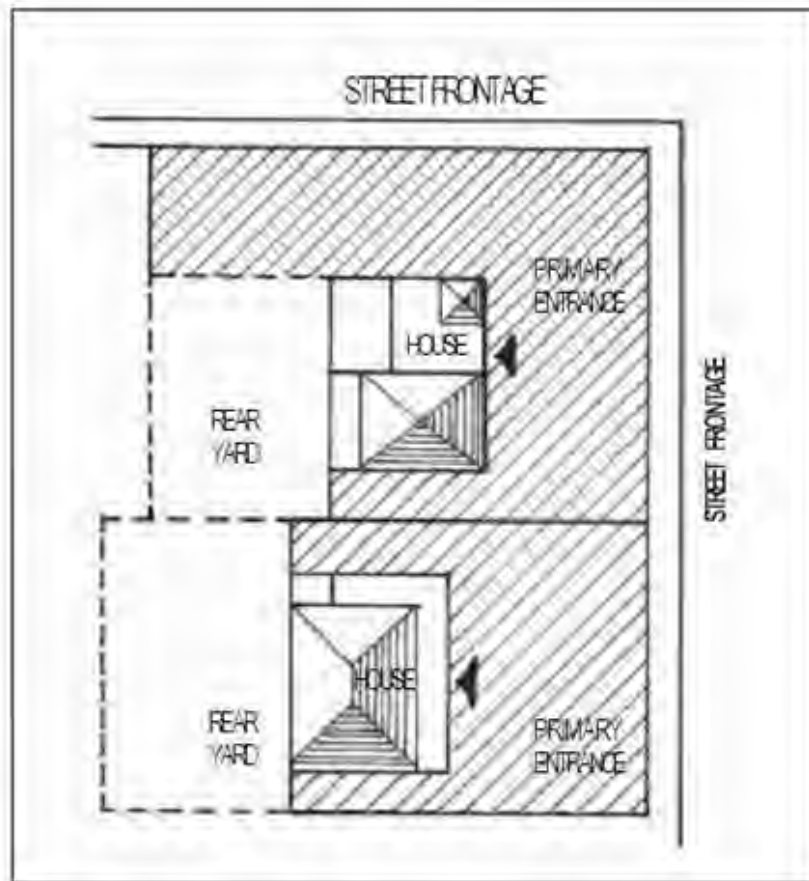
Site plan
Photo of existing or brochure of new screening device
Dimensions

Appropriate Materials:

Wood or iron fencing
Rock/stone walls
Decorative wire fence

Inappropriate Materials:

Chain link and Vinyl fence (if used for larger applications such as defining property lines; however if used in the rear or side yard, not visible from the street and is a small application then appropriate to use)
Metal wire fence: hog wire, chicken wire, no-climb horse wire, etc.



This diagram illustrates the standards for fence heights. Fences along street frontages and front property lines cannot exceed four feet. These areas are indicated by a hatched line. Fences may be up to six feet in height along rear property lines and rear side yards. These areas are outlined by a dashed line.